

## List of Drawings

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# Site Development Plans Arc Technologies, Inc. Amesbury, Ma.

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

DATE

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

SITE PLAN APPROVED BY AMESBURY PLANNING BOARD TO THE FINDINGS AND CONDITIONS AS SET FORTH IN THE PLANNING BOARD DECISION DATED XXXXX AND TO BE RECORDED IN THE REGISTRY OF DEEDS.

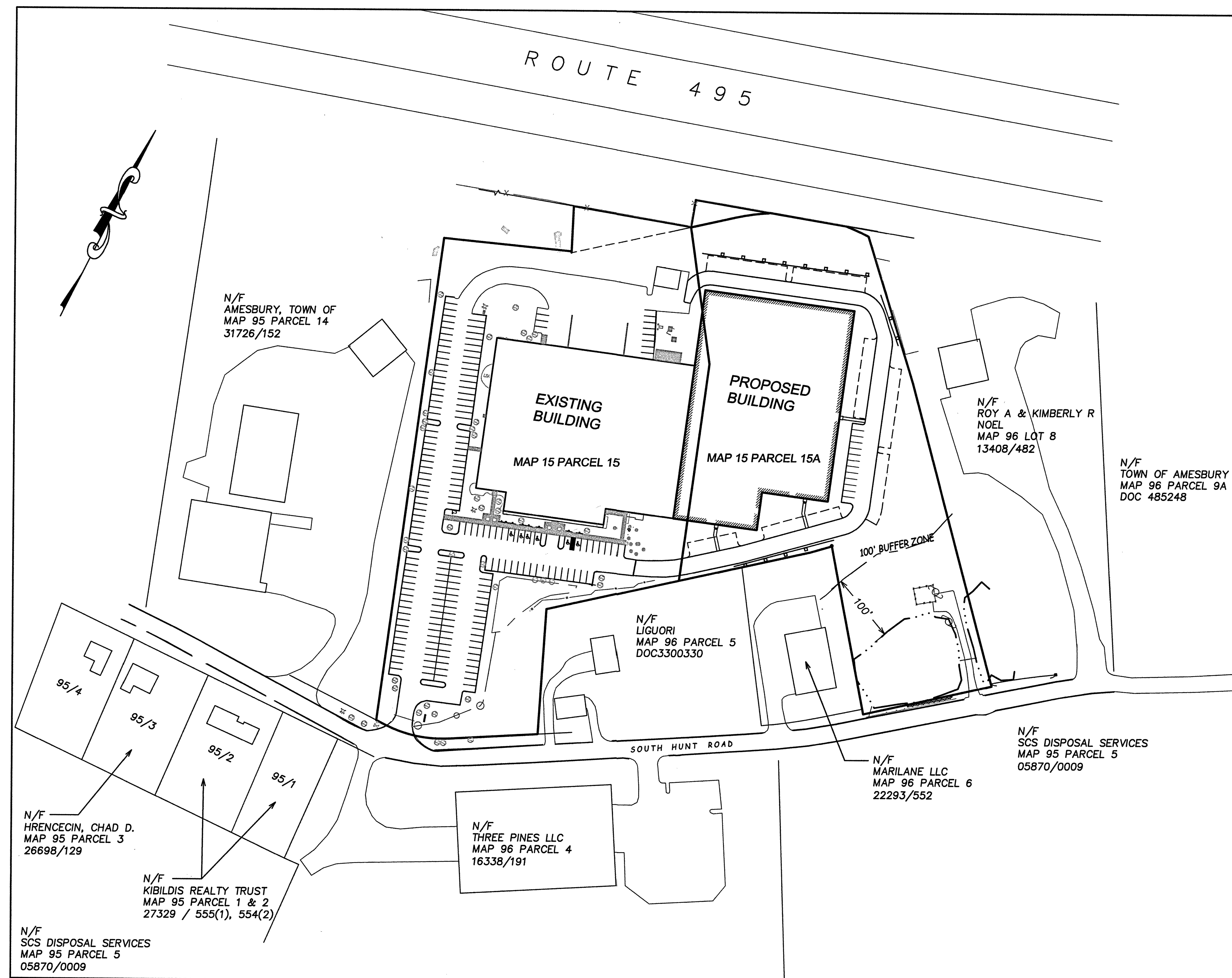
DATE

## Legend

### Existing

### Proposed

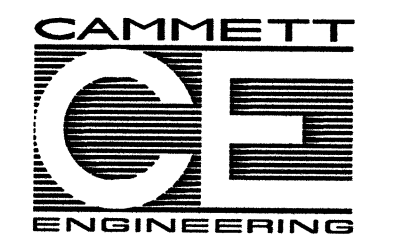
	EXISTING CONTOURS		CONTOUR
	SPOT GRADE		SPOT GRADE
	WETLAND BOUNDARY		RIP-RAP
	WETLAND FLAG		EROSION CONTROL
	SIGN		SIGN
	LIGHT POLE		LIGHT POLE
	FLARED END SECTION		CATCH BASIN
	GUY WIRE		DRAIN MANHOLE
	UTILITY POLE		FLARED END SECTION
	CATCH BASIN		SEWER MANHOLE
	DRAIN MANHOLE		FIRE HYDRANT
	SEWER MANHOLE		WATER VALVE
	TELEPHONE MANHOLE		GAS VALVE
	FIRE HYDRANT		DRAINAGE LINE
	WATER VALVE		UNDERGROUND ELECTRIC, TELEPHONE, CABLE.
	GAS VALVE		SEWER LINE
	DRAINAGE LINE		SUBDRAIN
	UNDERGROUND ELECTRIC, TELEPHONE, CABLE.		FOUNDATION DRAIN
	SEWER LINE		WATER LINE
	WATER LINE		GAS LINE
	GAS LINE		OVERHEAD WIRE
	OVERHEAD WIRE		WIRE FENCE
	WIRE FENCE		CHAIN-LINKED FENCE
	CHAIN-LINKED FENCE		WOOD FENCE
	WOOD FENCE		WOOD FENCE
	TREE LINE		EDGE OF PAVEMENT
	STONE WALL		DETAIL SYMBOL
	SHRUBS		CURBING
	DECIDUOUS TREE		BUILDING
	CONIFEROUS TREE		IRON PIPE
	SIDEWALK		MASSACHUSETTS HIGHWAY BOUND
	BITUMINOUS CURBING		CONCRETE BOUND w/DRILL HOLE
	GRANITE CURBING		GRANITE BOUND w/DRILL HOLE
	EDGE OF PAVEMENT		GUARD RAIL
	BUILDING		RETAINING WALL
	TEST PIT		SAW-CUT PAVEMENT
	IRON PIPE		
	MASSACHUSETTS HIGHWAY BOUND		
	CONCRETE BOUND w/DRILL HOLE		
	GRANITE BOUND w/DRILL HOLE		
	MAIL BOX		
	CONCRETE SURFACE		
	GUARD RAIL		



## Area Sketch

Scale: 1"=100'

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Sheet Title:

## Title Sheet

Project Title:

Arc Technologies, Inc.  
29 South Hunt Road  
Amesbury, Ma.

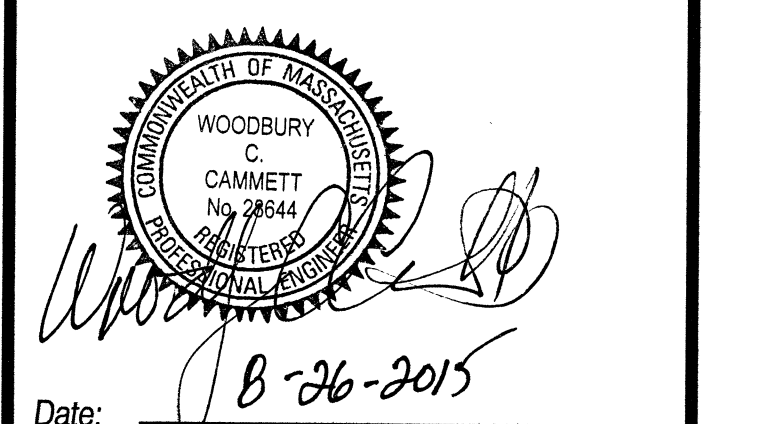
Applicant:

Arc Technologies, Inc.  
37 South Hunt Road  
Amesbury, Ma.

Owner:

37 S. Hunt Road LLC  
37 South Hunt Road  
Amesbury, Ma.

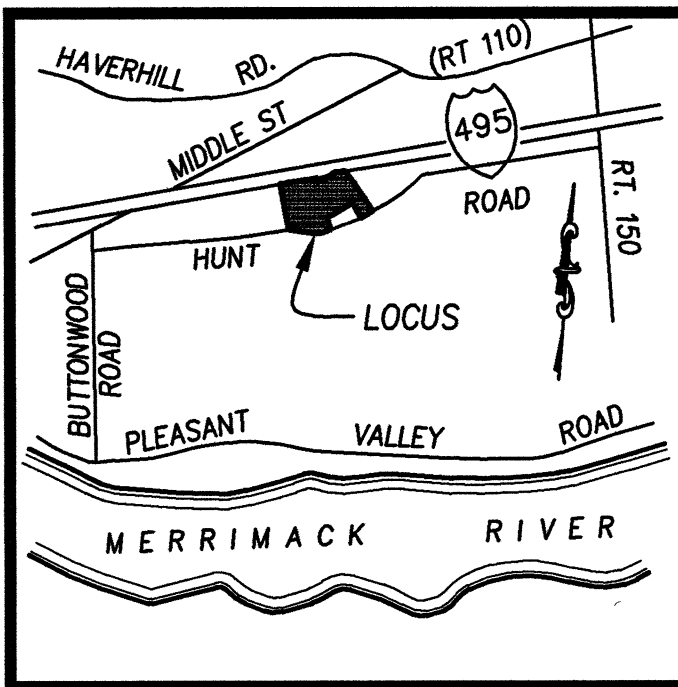
REVISION			
NO.	DATE	DESCRIPTION	BY



Date:

PROJ. MGR.:	D. Hamel
FIELD:	R. Brown, M. Michaud
DESIGN:	D. HAMEL
DRAWN:	D. HAMEL
CHECKED:	A. ROSCOE, W. CAMMETT
DATE:	08-24-2015
FILE:	K:\...C3D\14061FE.dwg
FBK:	671
JOB #:	14061

SHEET TI-1



LOCUS PLAN N.T.S.

INTERSTATE

NO ACCESS

ZONING REQUIREMENTS

DISTRICT 1 INDUSTRIAL  
MIN. LOT AREA 40,000 SF  
MIN. FRONTAGE 125 FEET  
MIN. SETBACKS  
FRONT - 25 FEET  
SIDE - 20 FEET  
REAR - 40 FEET  
MAX BLDG AREA 50%  
MIN OPEN SPACE 40%

NOTES:

THE PURPOSE OF THIS PLANS IS TO ELIMINATE  
THE LOT LINE BETWEEN LOTS 2A AND 3A  
AND CREATE ONE CONTIGUOUS LOT CONTAINING  
642,100 SF± OR 10.60 ACRES.

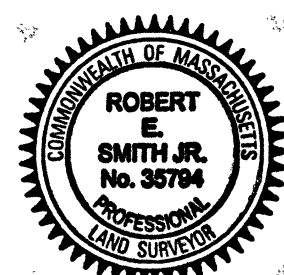
DEED REFERENCES

MAP 95 PARCEL 15 (LOT 2A)  
TO: 37 SOUTH HUNT ROAD, LLC  
FROM: STAG III AMESBURY, LLC  
ESRD 30852/189 12-20-2011

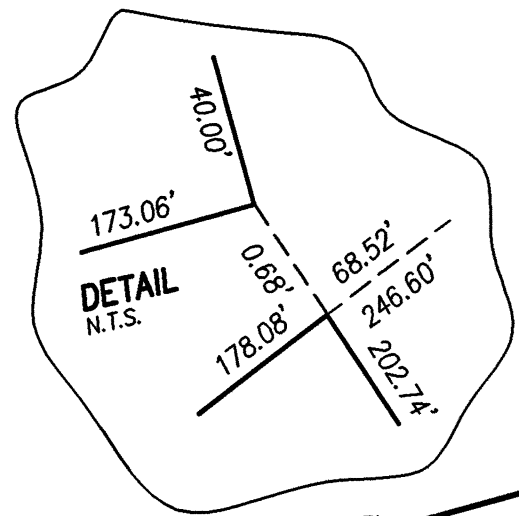
MAP 96 PARCEL 15A (LOT 3A)  
TO: 37 SOUTH HUNT ROAD, LLC  
FROM: R & L REALTY TRUST  
ESRD 33896/601 FEB. 23, 2015

I CERTIFY,

- 1) THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
- 2) THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR'S MAPS.



08-26-15  
P.L.S. DATE



(PUBLIC ~ WIDTH VARIES)

ROUTE

495

PLAN REFERENCES

- 1) "FORM A PLAN OF LAND IN AMESBURY, MASS. FOR RLS REALTY, LLC"  
SCALE 1"=50'; REV DATE JULY 31, 2007  
BY W.C. CAMMETT ENGINEERING, INC.  
ESRD PLAN BOOK 410 PLAN 5
- 2) ASSESSOR'S MAP 95 PARCEL 15  
ASSESSOR'S MAP 95 PARCEL 15A



LOT 3A  
197,070 S.F.±  
4.52 AC.±

LOT 2A  
265,030 S.F.±  
6.08 AC.±

EXISTING BUILDING

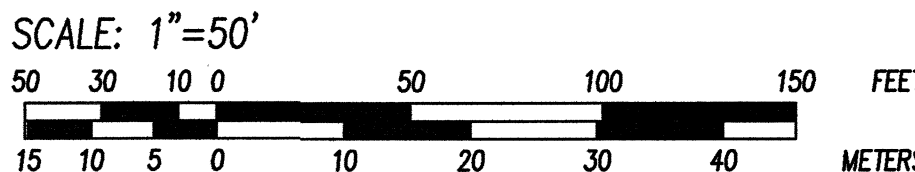
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P&J NOONAN REALTY TRUST  
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N/F  
SANBORN  
MAP 96 PARCEL 6  
21821/445

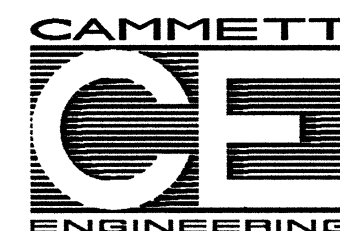
N/F  
LIGUORI  
MAP 96 PARCEL 5  
13068/539

APPROVAL UNDER THE SUBDIVISION  
CONTROL LAW IS NOT REQUIRED.  
AMESBURY PLANNING BOARD:

DATE :



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Sheet Title:

LOT  
CONSOLIDATION  
PLAN

Project Title:

Arc Technologies, Inc.  
29 South Hunt Road  
Amesbury, Ma.

Applicant:

Arc Technologies, Inc.  
37 South Hunt Road  
Amesbury, Ma.

Owner:

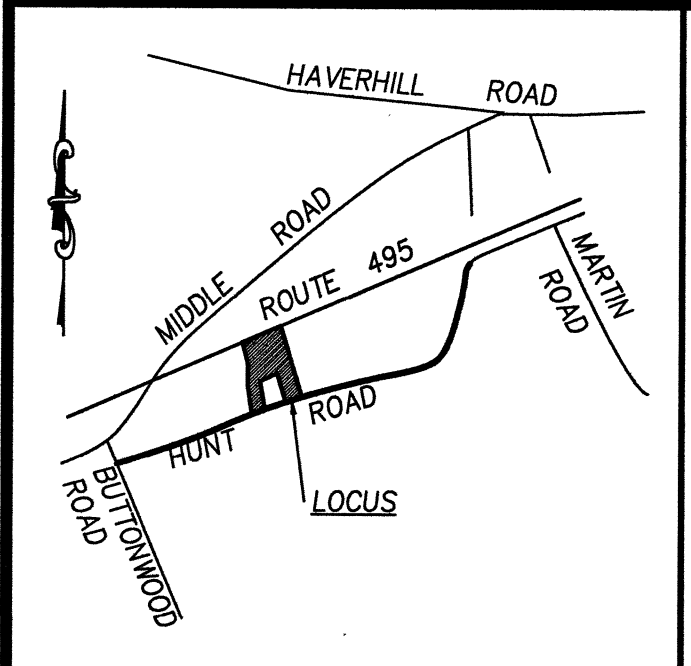
37 S. Hunt Road LLC  
37 South Hunt Road  
Amesbury, Ma.

REVISION			
NO.	DATE	DESCRIPTION	BY

Date: \_\_\_\_\_  
PROJ. MGR.: R. SMITH  
FIELD: \_\_\_\_\_  
DESIGN: \_\_\_\_\_  
DRAWN: R. SMITH  
CHECKED: W. CAMMETT  
DATE: 08-27-15  
FILE: K:\14061 ANR PL.DWG  
JOB #: 14061

SHEET PL-1





**NRCS SOIL DATA**

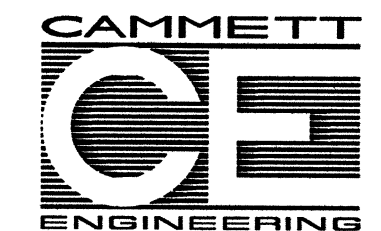
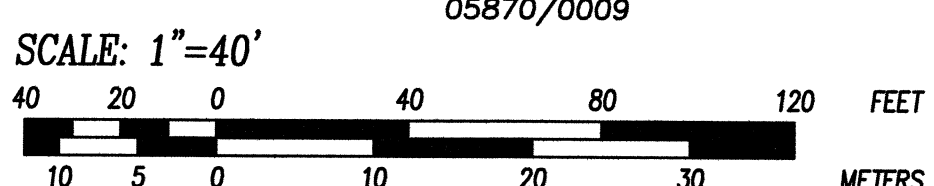
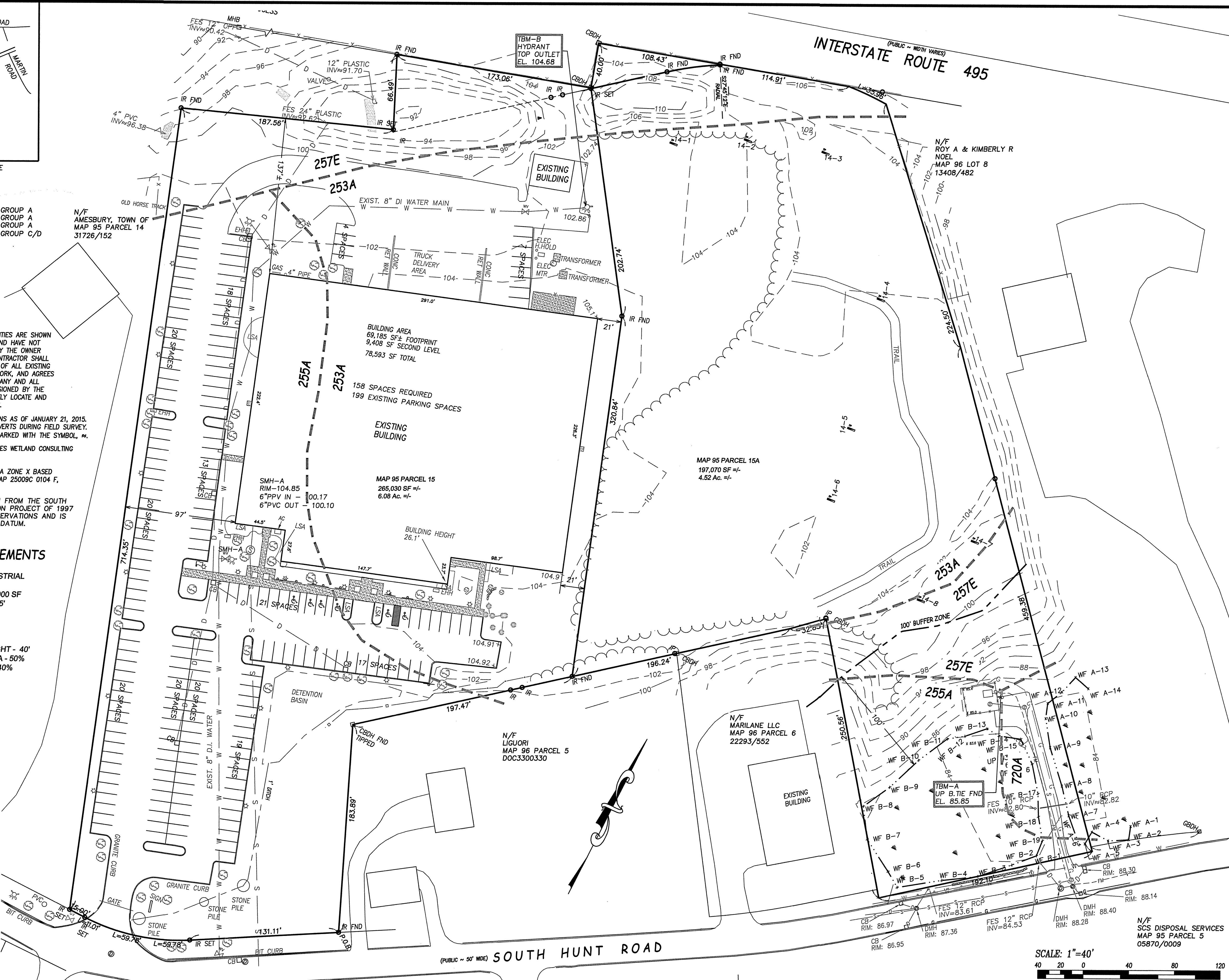
253A	HINCKLEY	HSC GROUP A
255A	WINDSOR	HSC GROUP A
257E	HINCKLEY	HSC GROUP A
720A	WHATELY	HSC GROUP C/D

- NOTES:**
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  - 2.) THESE ARE THE EXISTING CONDITIONS AS OF JANUARY 21, 2015. THERE WAS WATER FROZEN IN INVERTS DURING FIELD SURVEY. THESE INVERT ELEVATIONS ARE MARKED WITH THE SYMBOL.  $\nabla$ .
  - 3.) WETLANDS DELINEATED BY BASBANES WETLAND CONSULTING ON NOVEMBER 14, 2014.
  - 4.) THE PROJECT AREA LIES WITHIN A ZONE X BASED UPON FLOOD INSURANCE RATE MAP 25009C 0104 F, EFFECTIVE DATE JULY 3, 2012.
  - 5.) ELEVATION DATUM IS TAKEN FROM THE SOUTH HUNT ROAD RECONSTRUCTION PROJECT OF 1997 AND IS BASED ON GPS OBSERVATIONS AND IS BASED ON THE 1929 NGVD DATUM.

**ZONING REQUIREMENTS**

ZONING DISTRICT - INDUSTRIAL

MINIMUM LOT AREA - 40,000 SF  
MINIMUM FRONTAGE - 125'  
MINIMUM YARDS -  
FRONT - 25'  
SIDE - 20'  
REAR - 40'  
MAXIMUM BUILDING HEIGHT - 40'  
MAXIMUM BUILDING AREA - 50%  
MINIMUM OPEN SPACE - 40%



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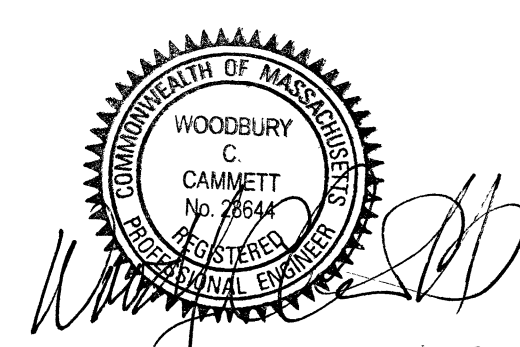
Existing Conditions

Arc Technologies, Inc.  
29 South Hunt Road  
Amesbury, Ma.

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37 South Hunt Road  
Amesbury, Ma.

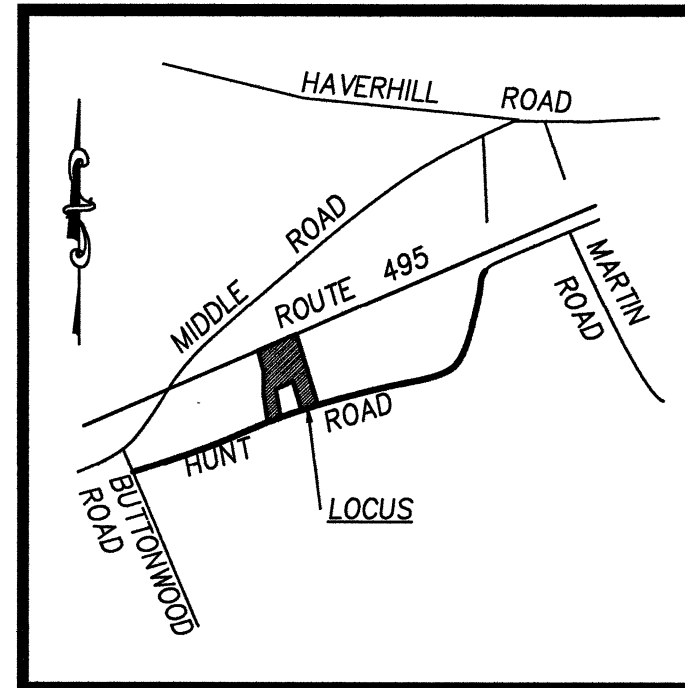
37 S. Hunt Road LLC  
37 South Hunt Road  
Amesbury, Ma.

REVISION			
NO.	DATE	DESCRIPTION	BY



Date:	B-26-2015
PROJ. MGR.:	D. Hamel
FIELD:	R. Brown, M. Michaud
DESIGN:	D. HAMEL
DRAWN:	D. HAMEL
CHECKED:	A. ROSCOE, W. CAMMETT
DATE:	08-24-2015
FILE:	K:\...IC3D\14061 FE.dwg
FBK:	671
JOB #:	14061





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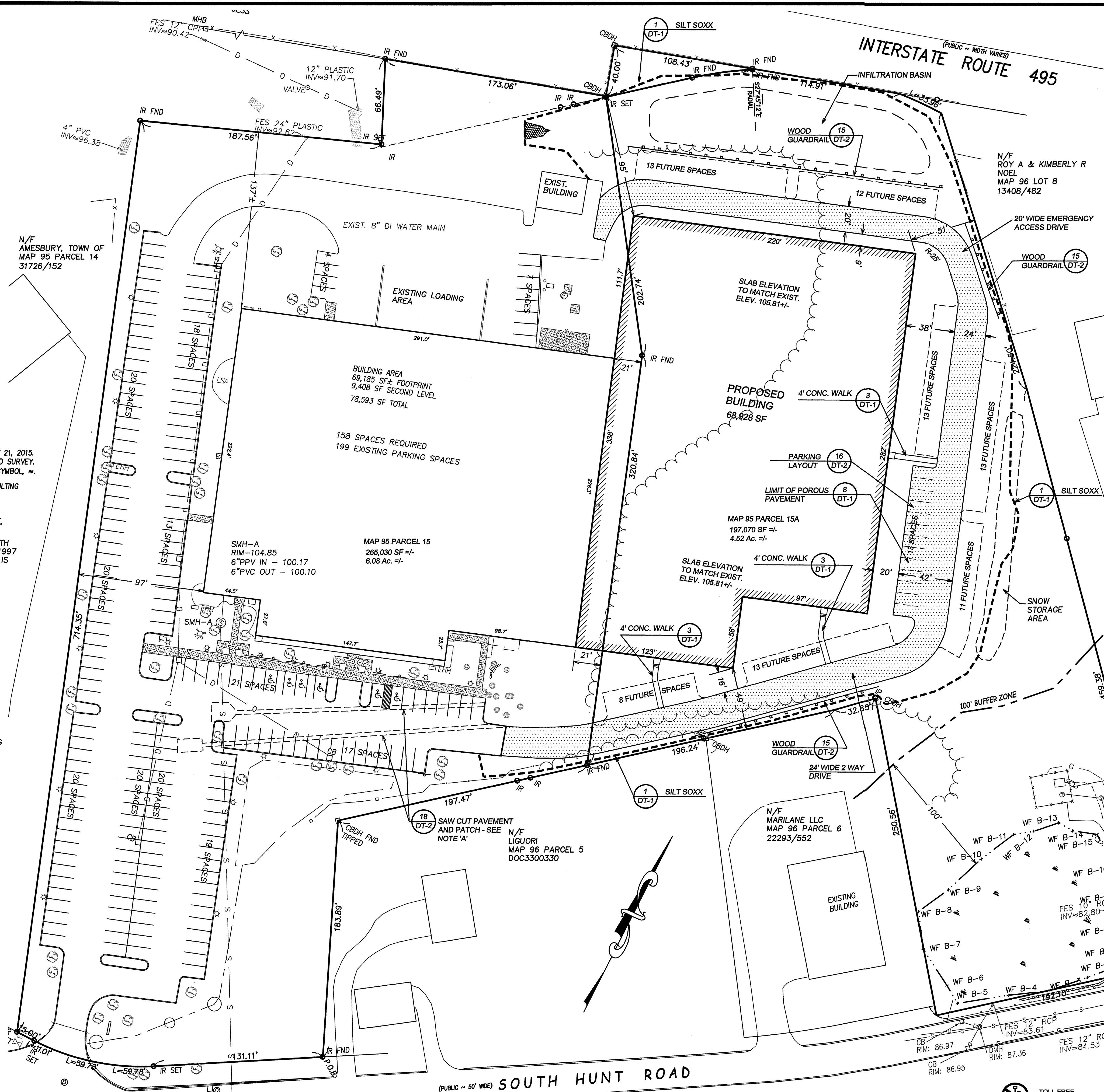
### NOTE 'A'

SAW CUT EXISTING PAVEMENT AND PATCH AS SHOWN ON PLAN AND ON DETAIL 18 SHEET DT-2. REMOVE AND RESET EXISTING CURBING AS NEEDED. REMOVE AND REPLANT / REPLACE ANY TREES OR SHRUBS AS MAY BE REQUIRED TO EXCAVATE TRENCH. REPAIR ANY EXISTING UTILITIES DAMAGED AS PART OF THE TRENCH EXCAVATION. NOTIFY ENGINEER IMMEDIATELY IF CONFLICT EXISTS WITH EXISTING UTILITIES.

### ZONING REQUIREMENTS

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FRONT - 25'  
SIDE - 20'  
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MAXIMUM BUILDING AREA - 50%  
MINIMUM OPEN SPACE - 40%



SITE PLAN APPROVED BY AMESBURY PLANNING BOARD TO THE FINDINGS AND CONDITIONS AS SET FORTH IN THE PLANNING BOARD DECISION DATED XXXXX AND TO BE RECORDED IN THE REGISTRY OF DEEDS.

DATE

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

DATE

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TOWN CLERK

DATE

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REAR - 40'  
MAXIMUM BUILDING HEIGHT - 40'  
MAXIMUM BUILDING AREA - 50%  
MINIMUM OPEN SPACE - 40%

### Site Data

MAX. BUILDING COVERAGE - 50%  
MIN. OPEN SPACE - 40%

COMBINED SITE AREA = 462,095 SF

TOTAL BUILDING AREA - 138,113 SF  
TOTAL OPEN SPACE - 196,132 SF

BUILDING COVERAGE PROVIDED - 30.0%  
OPEN SPACE PROVIDED - 44.0%

PARKING REQUIRED :  
1 SPACE / 500 SF OF GROSS FLOOR AREA

EXISTING BUILDING - FIRST FLOOR-69,185 SF  
SECOND LEVEL-9,408 SF  
TOTAL - 78,593 SF

PROPOSED BUILDING - TOTAL 68,928 SF  
TOTAL GROSS FLOOR AREA - 147,521 SF

TOTAL PARKING REQUIRED:  
147,521 / 500 = 295 SPACES

PARKING PROVIDED - EXISTING - 199 SPACES  
PROPOSED - 13 SPACES  
TOTAL - 212 SPACES

FUTURE PARKING - 83  
TOTAL PARKING AVAILABLE - 295

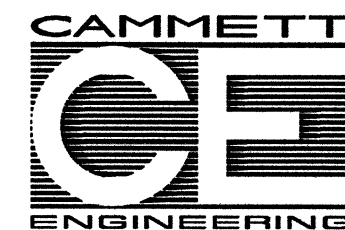
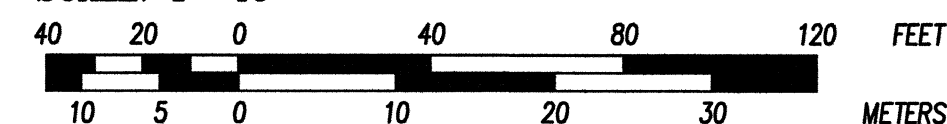
LOADING REQUIRED

1 PER 20,000 SF OF GFA UP TO TWO SPACES  
PLUS 1 ADDITIONAL FOR EACH 60,000 SF

GFA = 147,521 SF

LOADING PROVIDED - 6

SCALE: 1"=40'



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Sheet Title:

## Site Plan

Project Title:

Arc Technologies, Inc.  
29 South Hunt Road  
Amesbury, Ma.

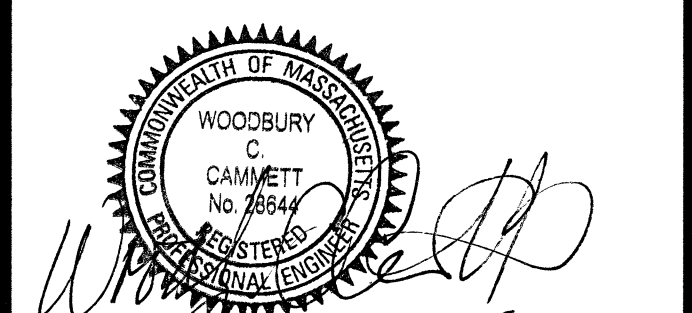
Applicant:

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37 South Hunt Road  
Amesbury, Ma.

Owner:

37 S. Hunt Road LLC  
37 South Hunt Road  
Amesbury, Ma.

REVISION			
NO.	DATE	DESCRIPTION	BY



Date:

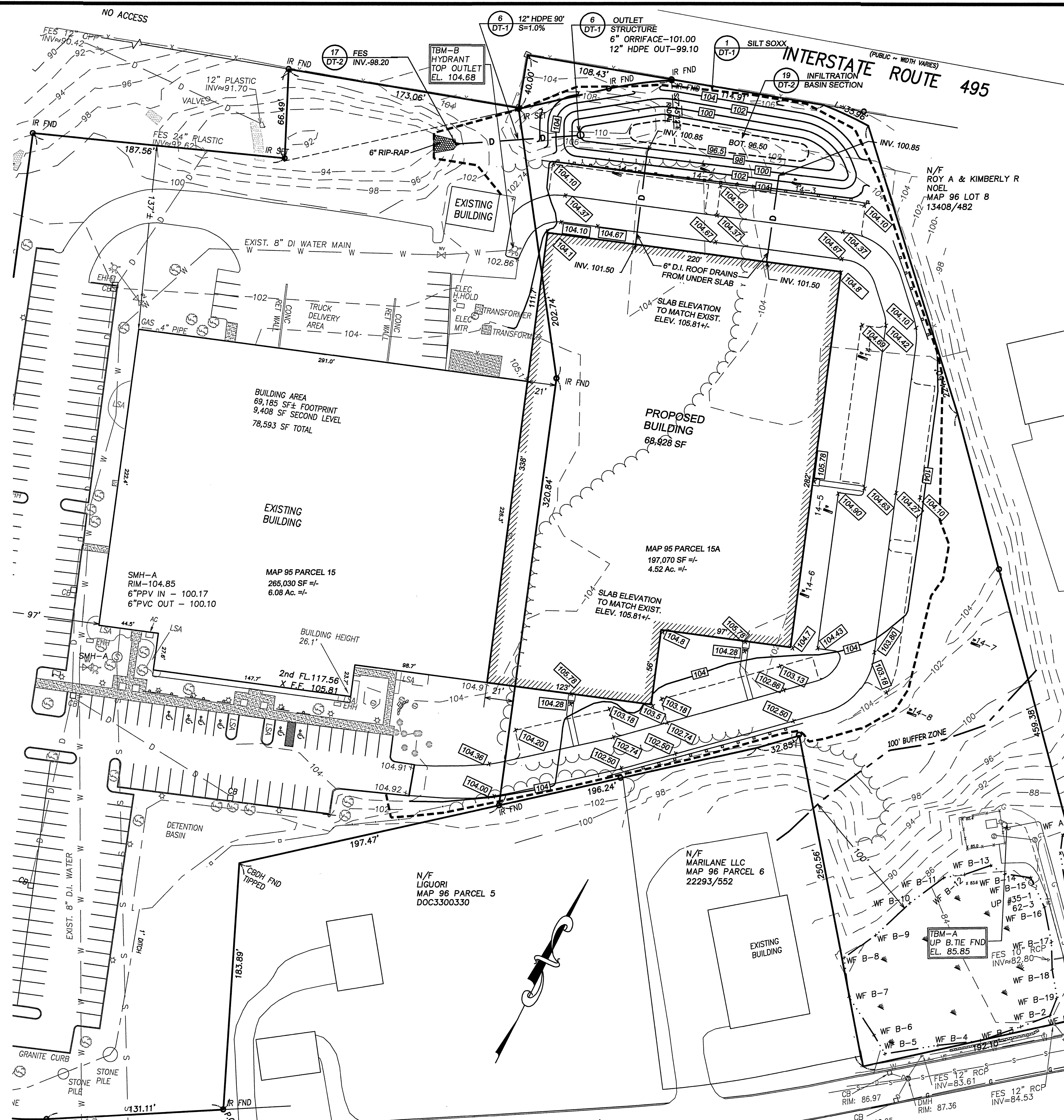
PROJ. MGR.: D. Hamel  
FIELD: R. Brown, M. Michaud  
DESIGN: D. HAMEL  
DRAWN: D. HAMEL  
CHECKED: A. ROSCOE, W. CAMMETT  
DATE: 08-24-2015  
FILE: K:\...C3D\14061 FE.dwg  
FBK: 671  
JOB #: 14061

SHEET SP-1





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SITE PLAN APPROVED BY AMESBURY  
PLANNING BOARD TO THE FINDINGS  
AND CONDITIONS AS SET FORTH IN  
THE PLANNING BOARD DECISION DATED  
XXXXX AND TO BE RECORDED IN THE  
REGISTRY OF DEEDS.

DATE \_\_\_\_\_

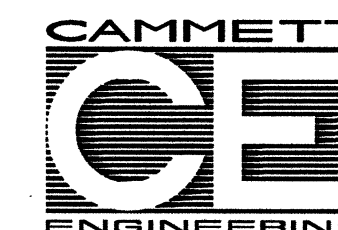
I CERTIFY THAT THE PREPARATION OF THIS  
PLAN CONFORMS TO THE RULES AND  
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I CERTIFY THAT 20 DAYS HAVE ELAPSED  
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APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE \_\_\_\_\_

DATE \_\_\_\_\_



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Sheet Title:

## Grading Plan

Project Title:

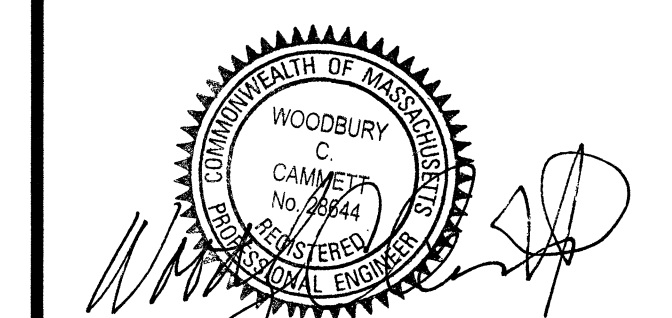
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Applicant:

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Amesbury, Ma.

Owner:

37 S. Hunt Road LLC  
37 South Hunt Road  
Amesbury, Ma.

[illegible]

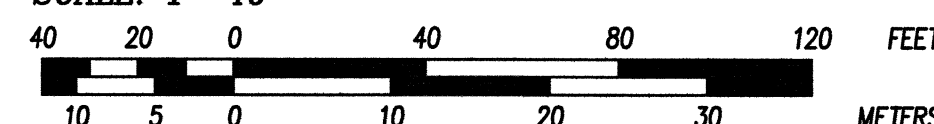
Date:

PROJ. MGR.:	D. Hamel
FIELD:	R. Brown, M. Michaud
DESIGN:	D. HAMEL
DRAWN:	D. HAMEL
CHECKED:	A. ROSCOE, W. CAMMETT
DATE:	08-24-2015
FILE:	K:\...IC3D\14061FE.dwg
FBK:	671
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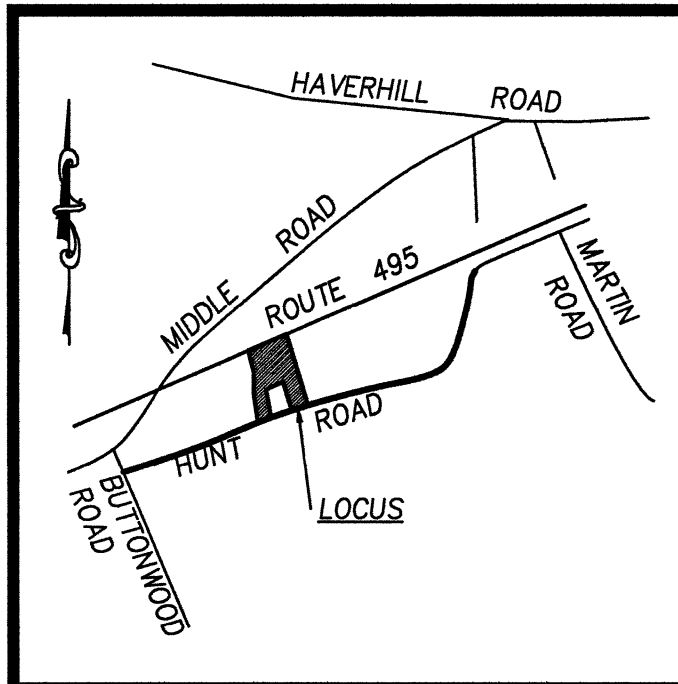
SHEET GR-1

 TOLL FREE  
1-888-DIG-SAFE  
(1-888-344-7233)

SCALE: 1"=40'



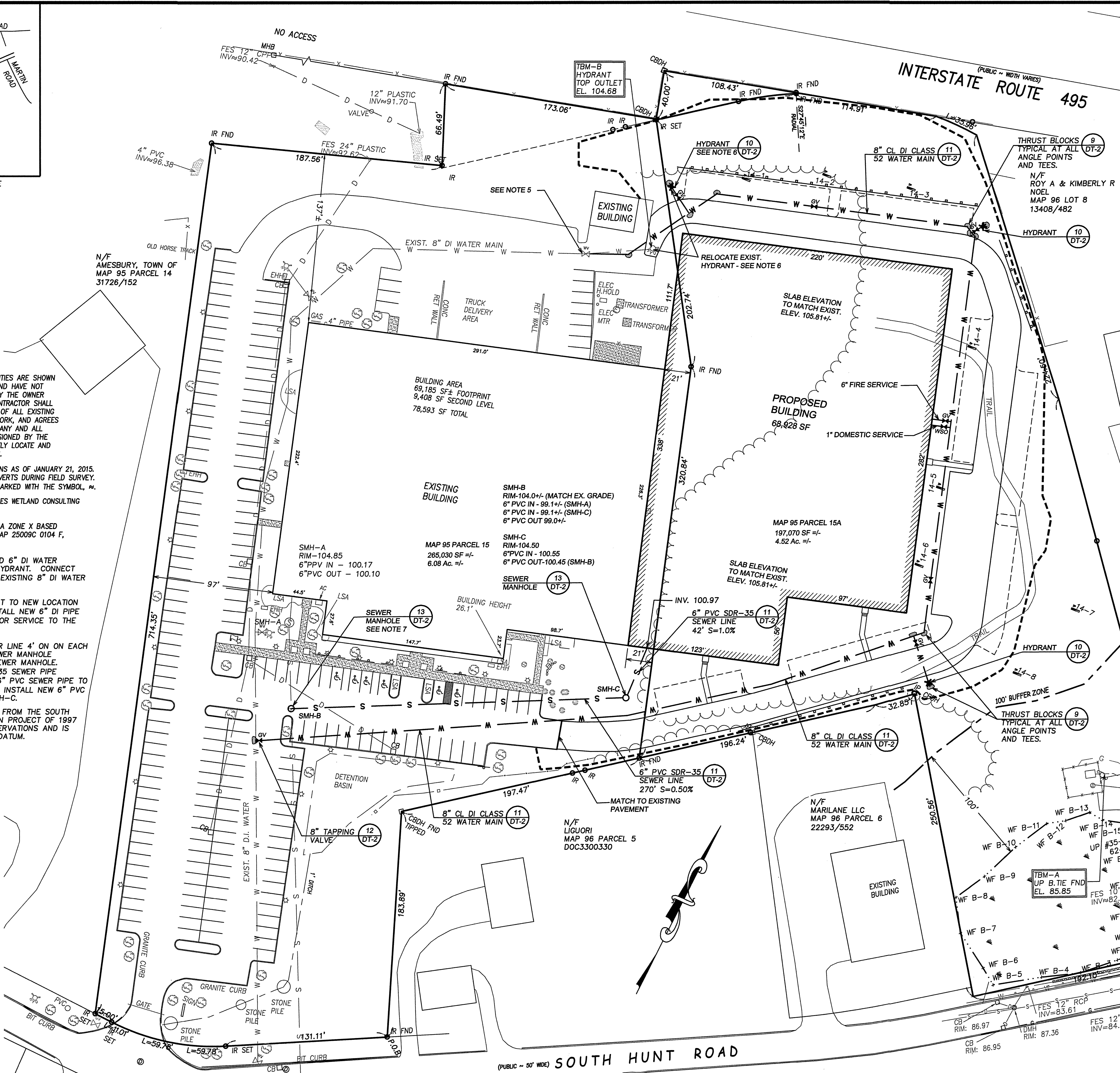




LOCUS MAP NOT TO SCALE

#### NOTES:

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- 5.) REMOVE EXISTING 6" GV AND 6" DI WATER SERVICE TO THE EXISTING HYDRANT. CONNECT NEW 8" DI WATER MAIN TO EXISTING 8" DI WATER MAIN.
- 6.) RELOCATE EXISTING HYDRANT TO NEW LOCATION SHOWN ON THE PLAN. INSTALL NEW 6" DI PIPE AND NEW 6" GATE VALVE FOR SERVICE TO THE RELOCATED HYDRANT.
- 7.) CUT EXISTING 6" PVC SEWER LINE 4' ON EACH SIDE OF THE PROPOSED SEWER MANHOLE LOCATION. INSTALL NEW SEWER MANHOLE. INSTALL NEW 6" PVC SDR-35 SEWER PIPE CONNECTING THE EXISTING 6" PVC SEWER PIPE TO THE NEW SEWER MANHOLE. INSTALL NEW 6" PVC SDR-35 SEWER LINE TO SMH-C.
- 8.) ELEVATION DATUM IS TAKEN FROM THE SOUTH HUNT ROAD RECONSTRUCTION PROJECT OF 1997 AND IS BASED ON GPS OBSERVATIONS AND IS BASED ON THE 1929 NGVD DATUM.



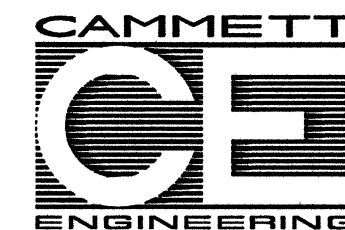
SITE PLAN APPROVED BY AMESBURY PLANNING BOARD TO THE FINDINGS AND CONDITIONS AS SET FORTH IN THE PLANNING BOARD DECISION DATED XXXXX AND TO BE RECORDED IN THE REGISTRY OF DEEDS.

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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK DATE



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## Utility Plan

Project Title:  
**Arc Technologies, Inc.**  
29 South Hunt Road  
Amesbury, Ma.

Applicant:  
**Arc Technologies, Inc.**  
37 South Hunt Road  
Amesbury, Ma.

Owner:  
**37 S. Hunt Road LLC**  
37 South Hunt Road  
Amesbury, Ma.

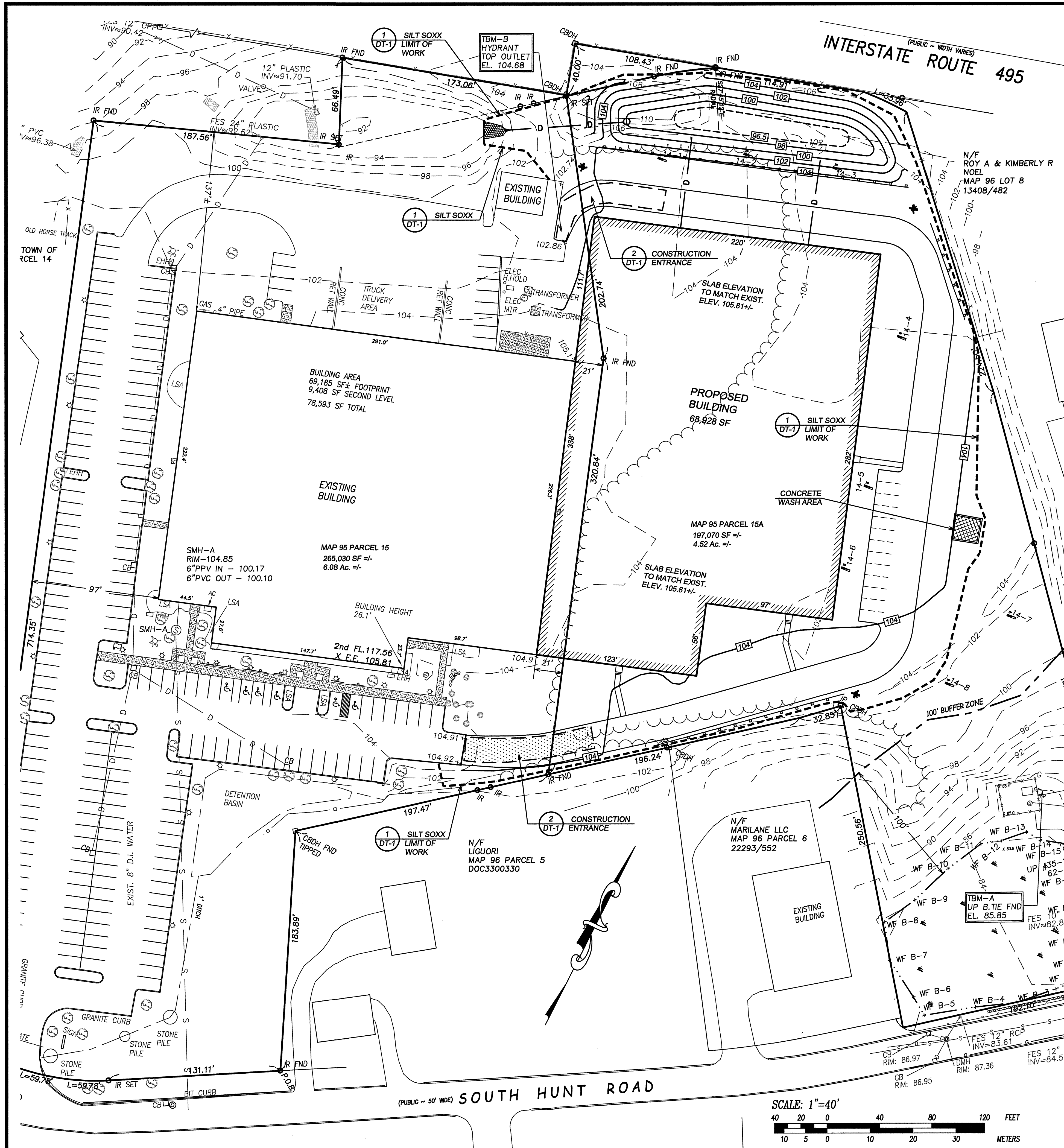
REVISION			
NO.	DATE	DESCRIPTION	BY

WOODSBURY  
CAMMETT  
No. 2884  
Professional Engineer  
Date: 8-26-2015  
PROJ. MGR.: D. Hamel  
FIELD: R. Brown, M. Michaud  
DESIGN: D. HAMEL  
DRAWN: D. HAMEL  
CHECKED: A. ROSCOE, W. CAMMETT  
DATE: 08-24-2015  
FILE: K:\1\103\114061\FE.dwg  
FBK: 671  
JOB #: 14061

SHEET UT-1

SCALE: 1"=40'  
40 20 0 40 80 120 FEET  
10 5 0 10 20 30 METERS





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GENERAL NOTES:

- HAZARDOUS WASTE STORAGE AREAS AND SANITARY FACILITIES SHALL BE LOCATED OUTSIDE THE 100 FOOT BUFFER ZONES FROM REGULATED RESOURCE AREAS DURING CONSTRUCTION PHASE.
- REMOVAL OF EROSION CONTROL SHOULD BE SUBJECT TO THE APPROVAL OF THE AMESBURY PLANNING BOARD AFTER ALL CONSTRUCTION RELATED ACTIVITIES ARE COMPLETE AND ALL AREAS OF THE SITE HAVE BEEN DEEMED AS STABILIZED BY THE AMESBURY PLANNING BOARD OR ITS DESIGNATED AGENT.
- THE SITE CONTRACTOR SHALL SUBMIT A DEWATERING PLAN FOR APPROVAL BY THE AMESBURY PLANNING BOARD PRIOR TO THE START OF CONSTRUCTION. DEWATERING LOCATIONS SHALL BE SHOWN ON A SITE PLAN AS PART OF THIS DEWATERING PLAN.
- NO MACHINERY WILL BE STORED WITHIN 100' OF ANY RESOURCE AREA, AND ALL MACHINERY WILL BE INSPECTED DAILY FOR LEAKY FLUIDS. CHEMICALS, FERTILIZERS, PESTICIDES, HERBICIDES, ETC. SHALL NOT BE USED OR STORED WITHIN 100' OF JURISDICTIONAL AREAS.
- NO FUEL STORAGE WILL OCCUR ON-SITE.

CONSTRUCTION SEQUENCE

- INSTALL PERIMETER CONTROL (SILT SOXX) AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS PRIOR TO ANY EARTH MOVING ACTIVITY.
- CLEAR AND GRUB THE SITE WITHIN THE LIMIT OF WORK AND DISPOSE OF UNSUITABLE MATERIALS OFF SITE.
- STRIP TOPSOIL AND STOCKPILE WITHIN THE PERIMETER CONTROL LIMITS. ONLY RETAIN ENOUGH TOPSOIL TO USE FOR FINISH GRADING. REMOVE EXCESS TOPSOIL FROM SITE.
- ROUGH GRADE SITE FOR THE BUILDING AREA, DRIVE AND PARKING AREAS AND A PORTION OF THE INFILTRATION BASIN AREA. TEMPORARILY DIRECT AS MUCH RUNOFF TO THE INFILTRATION BASIN AREA AS POSSIBLE. THE INFILTRATION BASIN AREA WILL BE USED AS A TEMPORARY SETTLING BASIN AND SHALL BE ONLY EXCAVATED TO ELEVATION 99.0 AT THIS TIME. EXCESS EARTH MATERIALS SHALL BE REMOVED FROM SITE.
- EXCAVATE FOR BUILDING FOUNDATION. CONSTRUCT THE FOUNDATION AND USE THE CONCRETE WASHOUT AREA AS SHOWN ON THE PLANS.
- INSTALL THE UTILITIES BELOW THE BUILDING SLAB. INSTALL GRAVEL BASE AND BUILDING SLAB.
- CONSTRUCT THE BUILDING AND INSTALL WATER, SEWER, AND DRAINAGE SYSTEMS.
- COMPLETE THE EXCAVATION AND INFILTRATION STRUCTURE FOR THE INFILTRATION BASIN. INSTALL THE OUTLET PIPE AND RIP-RAP. LOAM AND SEED THE SLOPES IMMEDIATELY AFTER THE GRADING IS COMPLETE.
- FINE GRADE ALL AREAS AROUND BUILDING. INSTALL PLANTING BEDS AND LANDSCAPED AREAS. SPREAD TOPSOIL AND SEED LAWN AREAS. INSTALL CONCRETE SIDEWALKS.
- DO NOT INSTALL POROUS PAVEMENT OR BASE UNTIL THE LANDSCAPED AREAS AND THE GRASS AREAS ARE ESTABLISHED. NO HEAVY DELIVERY TRUCKS, CRANES, CONCRETE TRUCKS, OR OTHER HEAVY VEHICLES ARE ALLOWED ON THE POROUS PAVEMENT FOR AT LEAST ONE MONTH AFTER INSTALLATION.
- EXCAVATE FOR THE POROUS PAVEMENT BASE. INSTALL THE BASE AS PER DETAIL 8 ON SHEET DT-1. INSTALL POROUS PAVEMENT.
- NOTE: DO NOT ALLOW PASSENGER VEHICLES TO DRIVE ON POROUS PAVEMENT AREAS FOR AT LEAST 1 WEEK AFTER INSTALLATION. PROTECT POROUS PAVEMENT FORM RUNOFF OF SILTY OR SANDY STORMWATER, OR VEHICLES WITH MUD OR DIRT ON THEIR TIRES. IF HEAVY VEHICLES ARE REQUIRED TO USE THE POROUS PAVEMENT AREA WITHIN THE FIRST MONTH, PLACE PLYWOOD OR OTHER PROTECTIVE SURFACE ON THE POROUS PAVEMENT, AND PROCEED WITH EXTREME CAUTION.

CONCRETE WASHOUT AREAS

- TEMPORARY CONCRETE WASHOUT AREAS SHALL BE CONSTRUCTED AT LOCATIONS IDENTIFIED ON THE PLANS. THE AREA WILL BE CONSTRUCTED BELOW GRADE APPROXIMATELY TEN FEET LONG, THREE FEET DEEP, AND TEN FEET WIDE. THE AREA WILL BE LINED WITH 10 MILS THICK PLASTIC SHEETING. SIGNAGE SHALL BE PROVIDED IDENTIFYING WASHOUT AREAS.
- EXCESS CONCRETE AND/OR WASHOUT MATERIAL FROM THE CONCRETE TRUCKS SHALL BE DISCHARGED TO THE WASHOUT AREA OR DISPOSED OF OFF SITE.
- UPON COMPLETION IF NEEDED FOR THE WASHOUT AREA, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF, THE AREA WILL BE FILLED, GRADED, AND STABILIZED.
- THE WASHOUT AREA WILL BE CONSTRUCTED PRIOR TO THE USE OF CONCRETE MATERIALS.
- THE WASHOUT AREA WILL BE INSPECTED ON A DAILY BASIS DURING CONCRETE OPERATIONS TO ENSURE NO TEARS IN THE PLASTIC. THE WASHOUT AREA MUST BE CLEANED OUT WHEN THE CAPACITY OF THE AREA IS REDUCED OF 25% OF AVAILABLE CAPACITY.

CAMMETT ENGINEERING  
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Erosion Control Plan

Arc Technologies, Inc.  
29 South Hunt Road  
Amesbury, Ma.

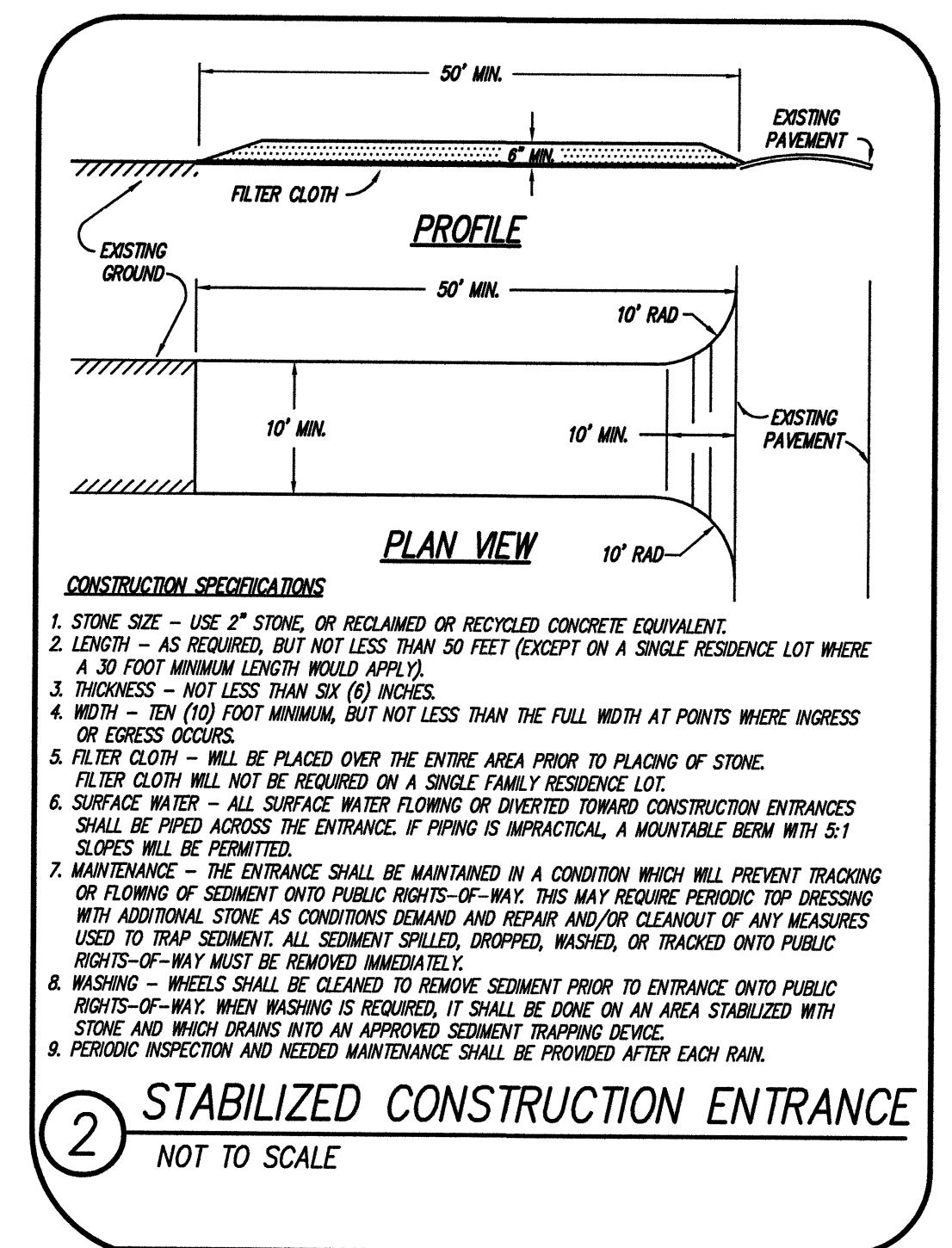
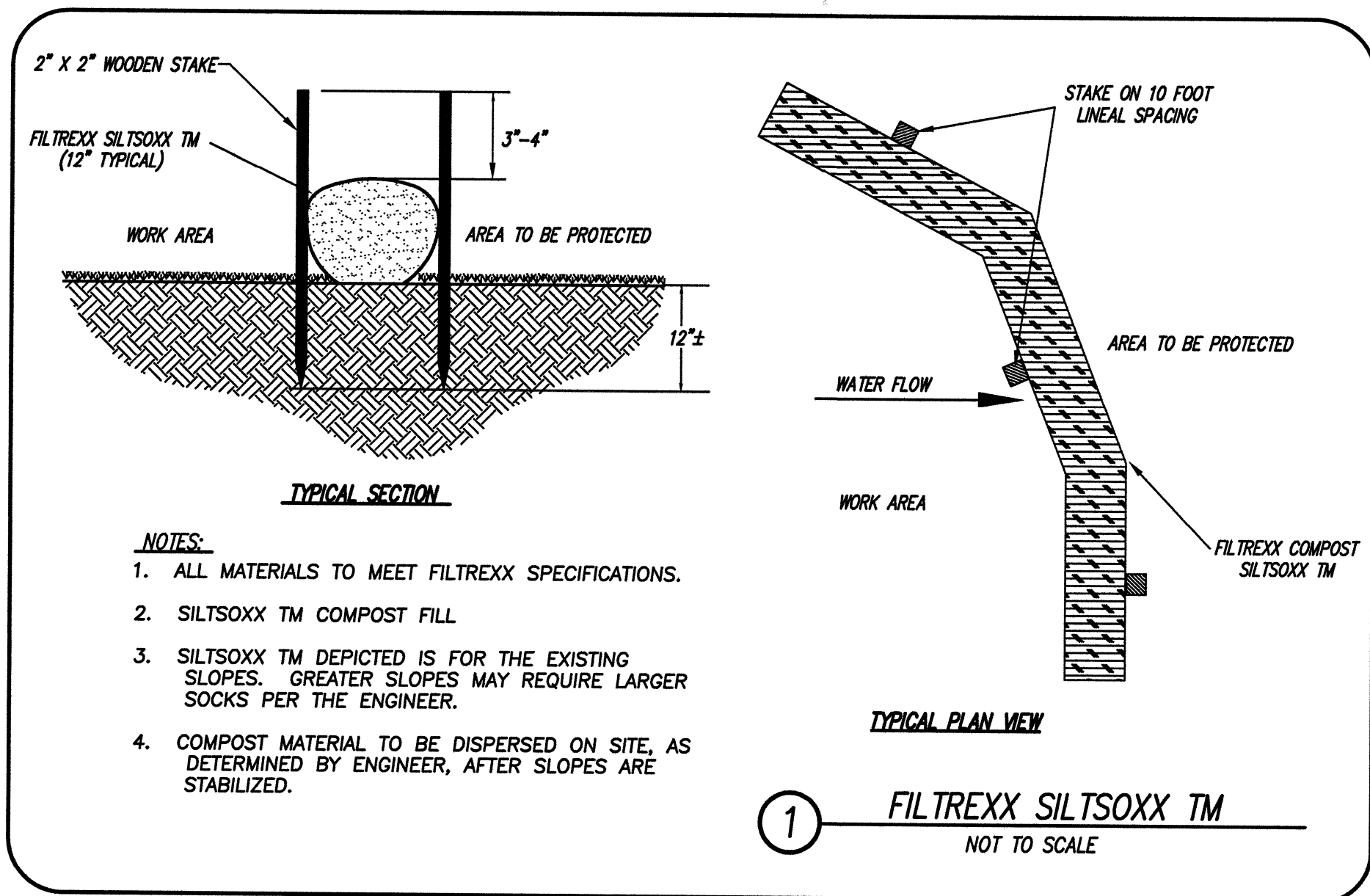
Arc Technologies, Inc.  
37 South Hunt Road  
Amesbury, Ma.

37 S. Hunt Road LLC  
37 South Hunt Road  
Amesbury, Ma.

REVISION			
NO.	DATE	DESCRIPTION	BY

WOODBURY CAMMETT  
Professional Engineer  
Date: 8-26-2015  
PROJ. MGR.: D. Hamel  
FIELD: R. Brown, M. Michaud  
DESIGN: D. HAMEL  
DRAWN: D. HAMEL  
CHECKED: A. ROSCOE, W. CAMMETT  
DATE: 08-24-2015  
FILE: K:\1\33D\14061FE.dwg  
FBK: 671  
JOB #: 14061  
SHEET EC-1

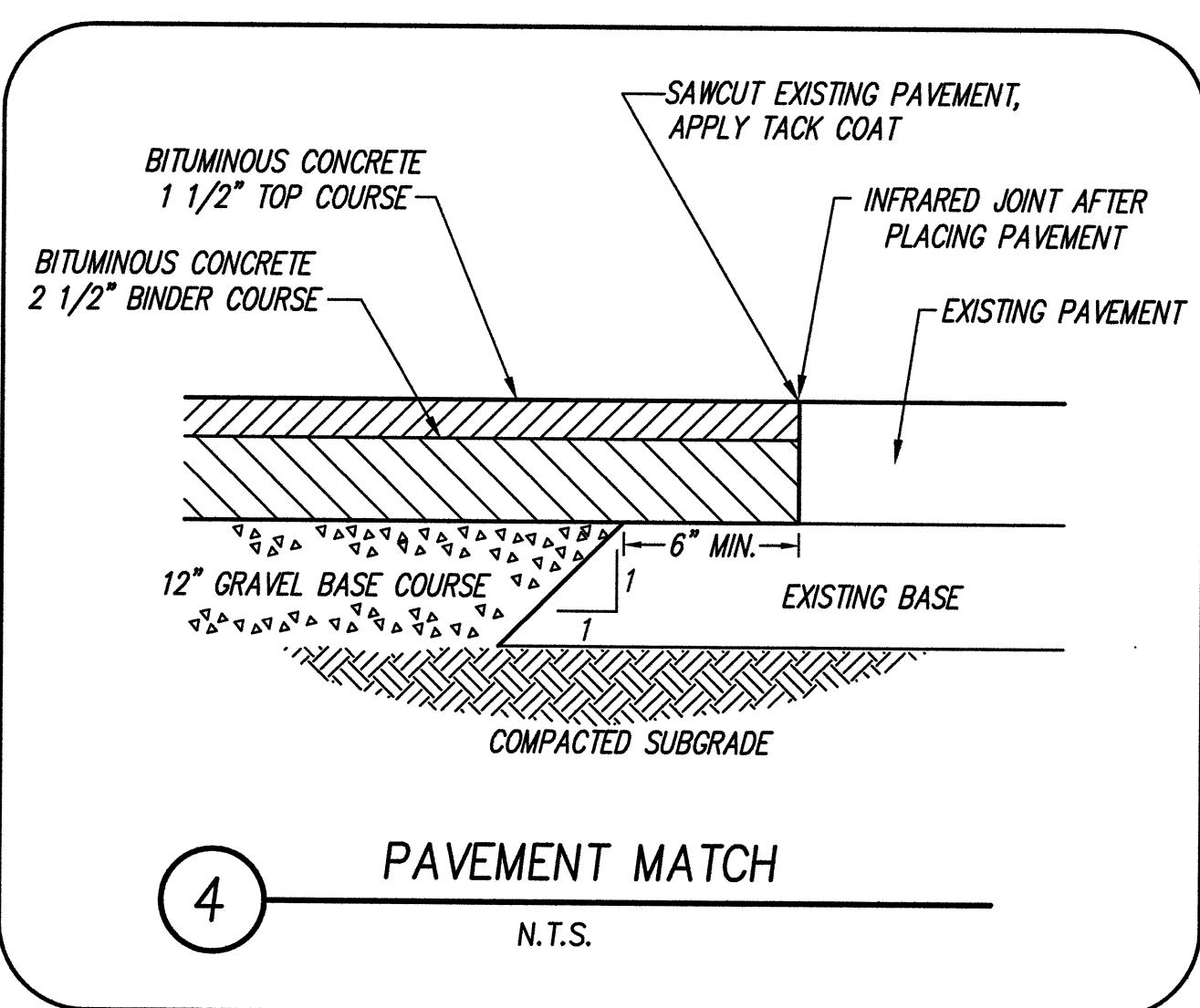
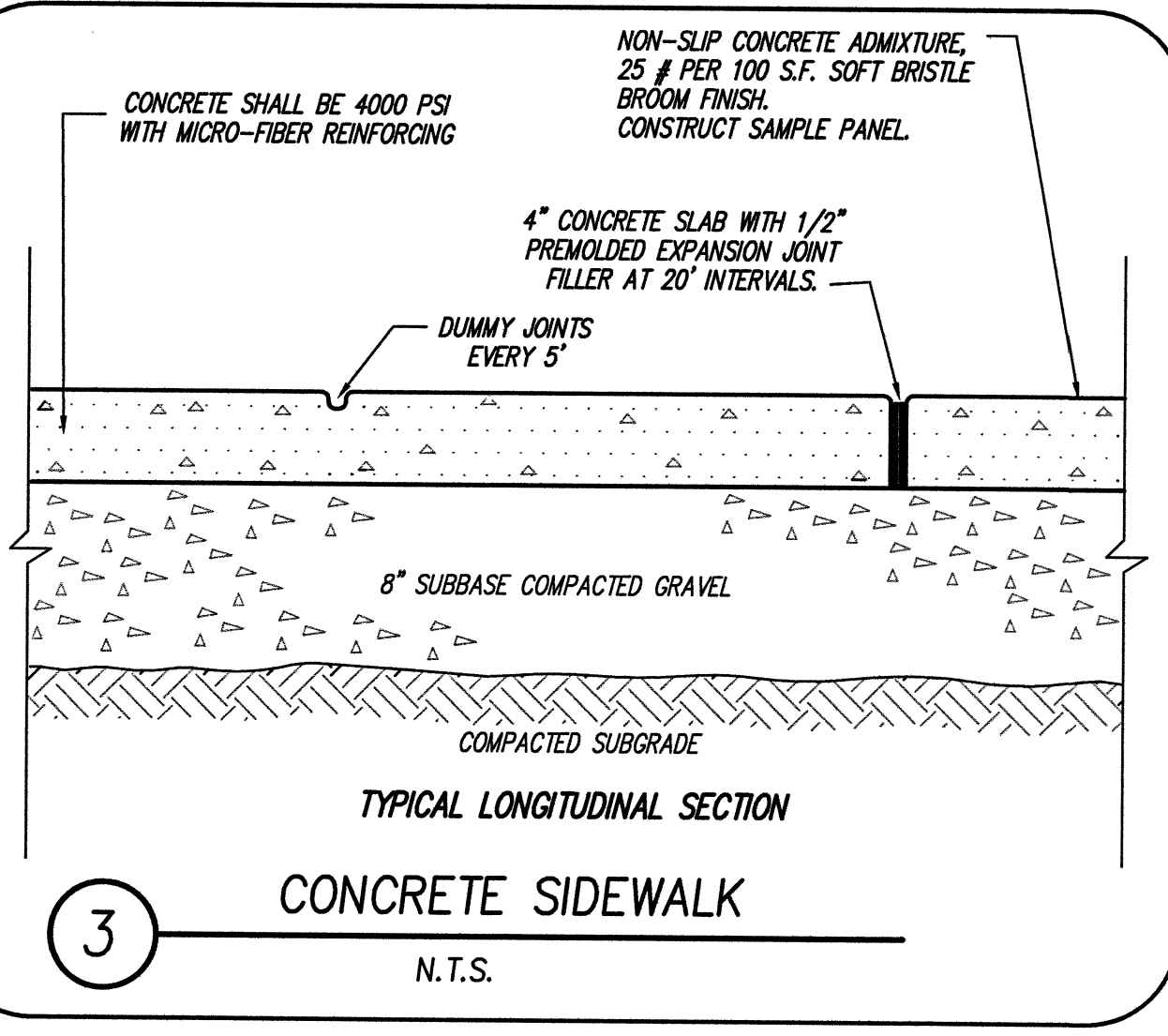




**Soil Tests**

Conducted By: Denis Hamel CPESC  
WC Cammett Eng. Inc. Date: December 19, 2015

14-1 Elev. 103.4	0-7" Sandy Loam, 10YR 3, Friable - Medium
7"-32" Sand, 10YR 3, Friable - Coarse	
32"-58" Sand, 10YR 3, Very Coarse - Massive	
58"-120" Sand, 10YR 3, Coarse - Massive	No Ledge, SHWT None Found
14-2 Elev. 13.9	0-5" Sandy Loam, 10YR 3, Friable - Fine
5"-22" Loamy Sand, 10YR 3, Coarse	
22"-26" Sand, 10YR 3, Fine	
26"-44" Sand, 10YR 3, Coarse	
44"-60" Sand-Gravel, 10YR 3, 50% Stone-Very Coarse-massive	
60"-120" Sand, 10YR 3, Coarse-Massive	No Ledge, SHWT None Found
14-3 Elev. 104.8	0-6" Fine Sandy Loam, 10YR 3, Friable
6"-24" Sand, 10YR 3, Friable-Coarse	
24"-44" Sand, 10YR 3, Very Coarse-Massive	
44"-96" Gravel, 10YR 3, 50% Stone, Very Coarse-Massive	
96"-120" Sand, 10YR 3, 10% Stone, Med. Massive	No Ledge, SHWT None Found
14-4 Elev. 103.6	0-5" Fine Sandy Loam, 10YR 3, Friable
5"-18" Loamy Sand, 10YR 3, Med.	
18"-36" Sand, 10YR 3, Coarse	
36"-72" Sand-Gravel, 10YR 3, 5% Stone, Very Coarse	
72"-120" Gravel, 10YR 3, 20% Stone	No Ledge, SHWT None Found
14-5 Elev. 103.4	0-7" Fine Sandy Loam, 10YR 3, Friable
7"-22" Loamy Sand, 10YR 3, Friable	
22"-40" Sand, 10YR 3, Friable-Coarse	
40"-80" Sand-Gravel, 10YR 3, 10% Stone, Very Coarse	
80"-120" Sand, 10YR 3, 5% Stone, Very Coarse-Massive	No Ledge, SHWT None Found
14-6 Elev. 102.8	0-8" Fine Sandy Loam, 10YR 3, Friable
8"-24" Loamy Sand, 10YR 3, Friable	
24"-36" Sand, 10YR 3, Friable-Med.	
36"-52" Sand-Gravel, 10YR 3, 5% Stone, Very Coarse-Massive	
52"-56" Sand, 10YR 3, Friable-Coarse	
56"-120" Sand-Gravel, 10YR 3, 10% Stone, Very Coarse-Massive	No Ledge, SHWT None Found
14-7 Elev. 101.2	0-3" Fine Sandy Loam, 10YR 3, Friable
3"-12" Loamy Sand, 10YR 3, Friable	
12"-36" Sand, 10YR 3, Coarse	
36"-78" Gravel, 10YR 3, 10% Stone, Very Coarse	
78"-120" Sand, 10YR 3, Coarse-Massive	No Ledge, SHWT None Found
14-8 Elev. 101.6	0-2" Fine Sandy Loam, 10YR 3, Friable
2"-6" Loamy Sand, 10YR 3, Coarse	
6"-27" Sand, 10YR 3, Coarse	
27"-40" Sand-Gravel, 10YR 3, 5% Stone, Very Coarse	
40"-120" Sand, 10YR 3, Coarse	No Ledge, SHWT None Found



**GENERAL NOTES**

UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION MATERIALS SHALL COMPLY WITH MADOT STANDARD SPECIFICATIONS.

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

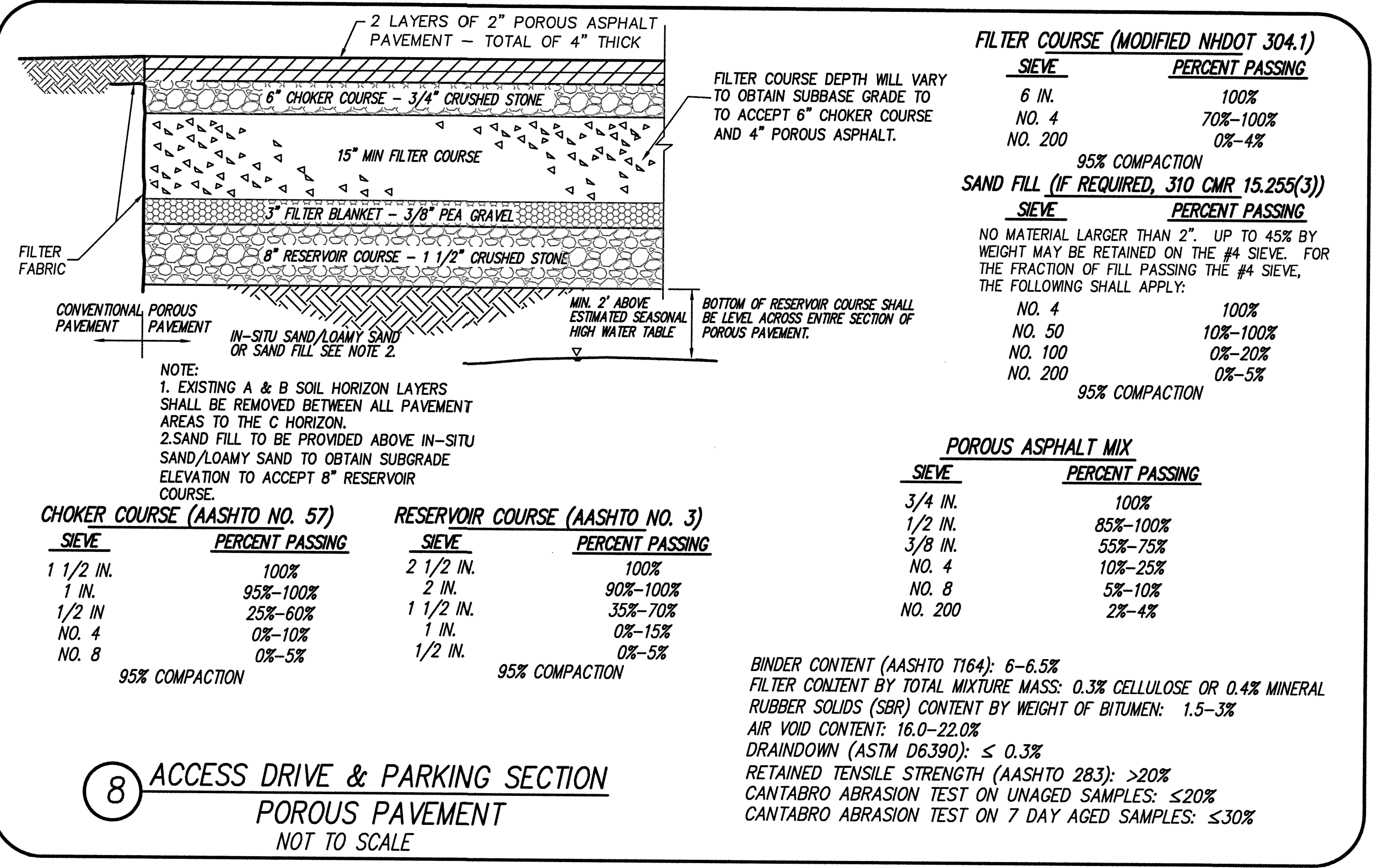
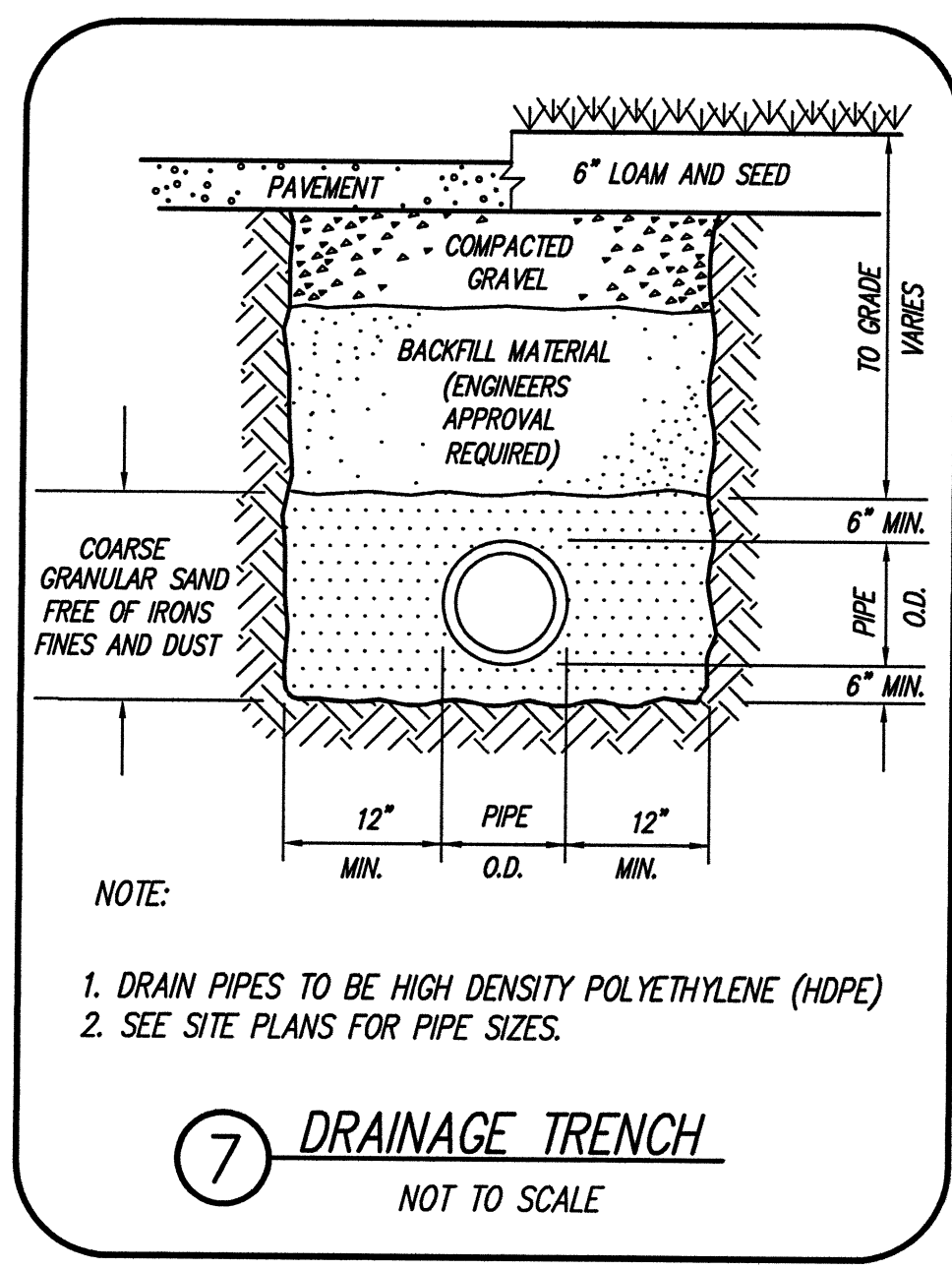
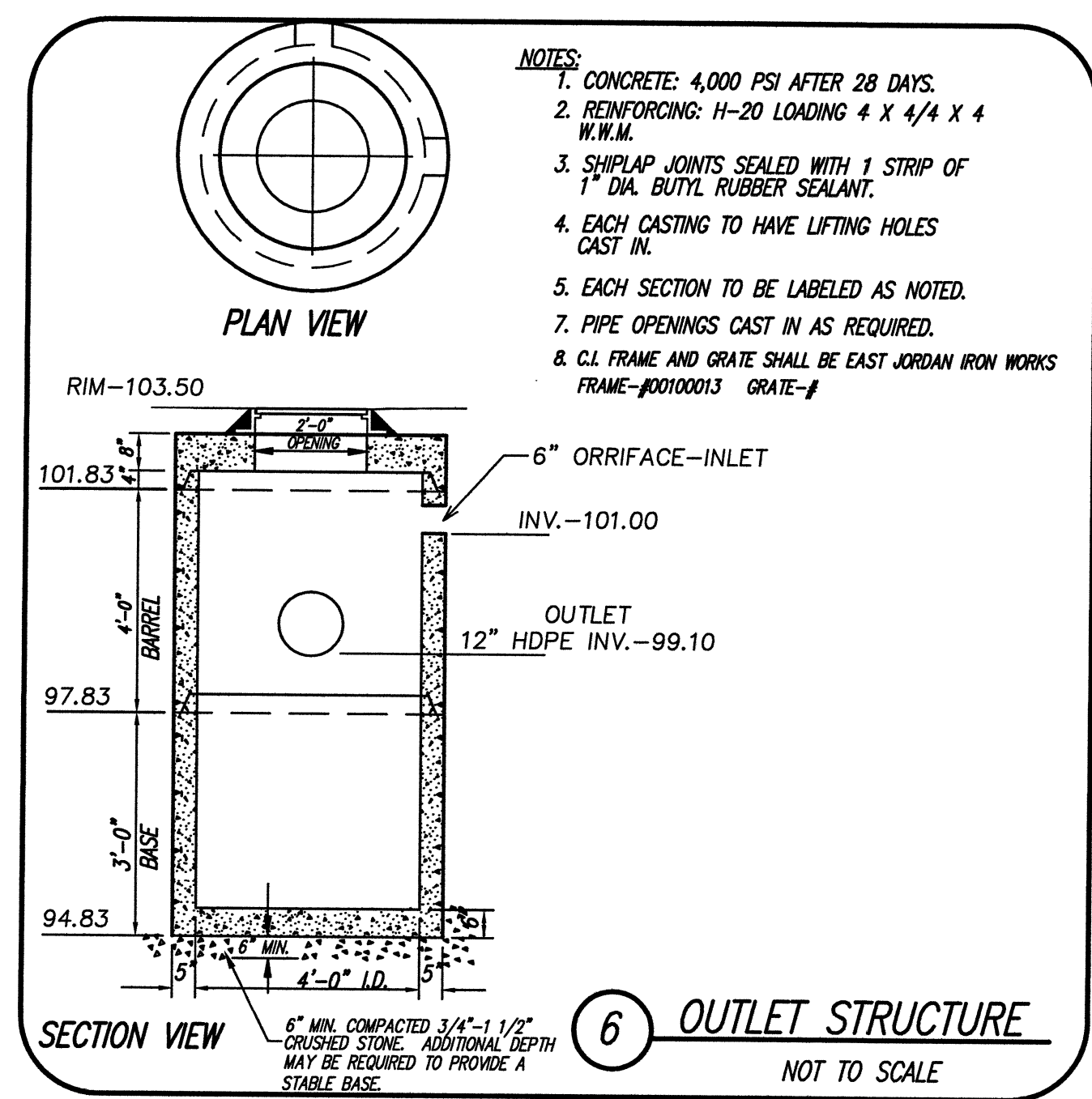
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TOWN CLERK

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## Misc. Details

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29 South Hunt Road  
Amesbury, Ma.

**Arc Technologies, Inc.**  
37 South Hunt Road  
Amesbury, Ma.

**37 S. Hunt Road LLC**  
37 South Hunt Road  
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REVISION			
NO.	DATE	DESCRIPTION	BY

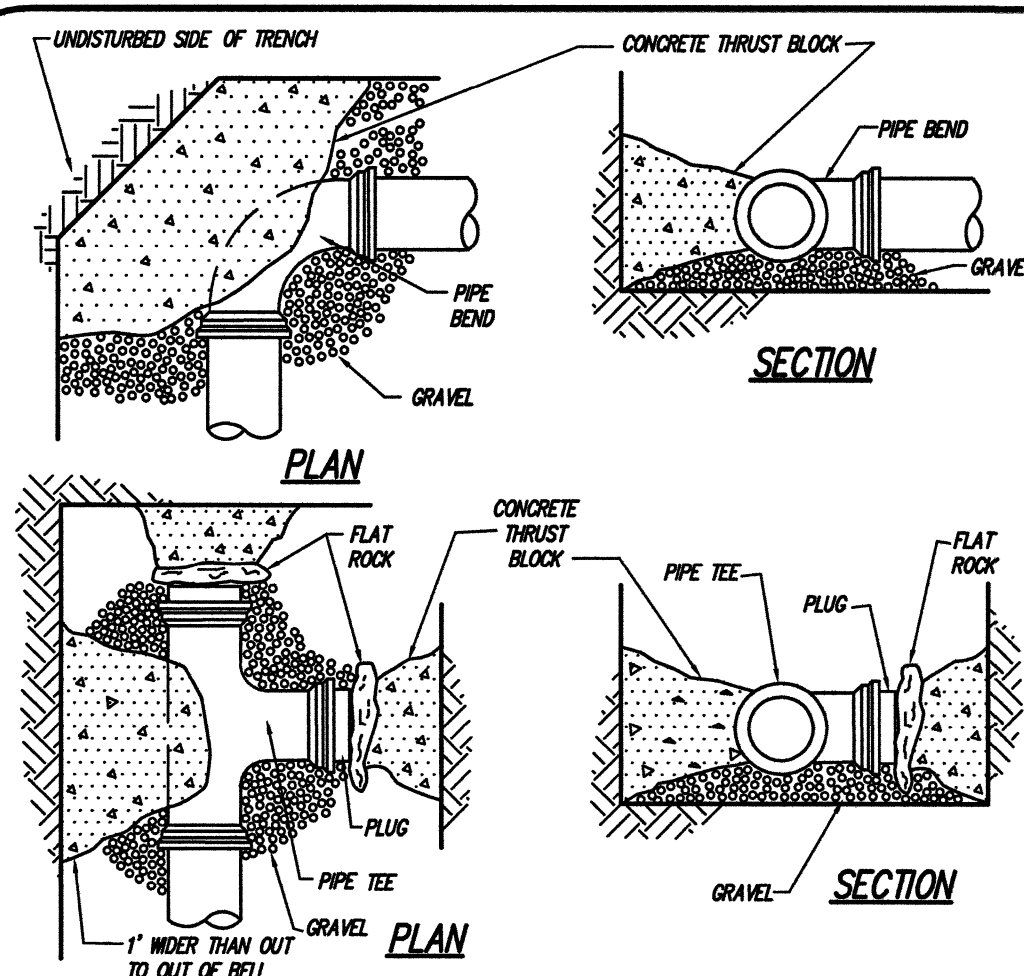
**WOODBURY C. CAMMETT**  
REGISTERED PROFESSIONAL ENGINEER  
MA 28942

Date: 8-26-2015

PROJ. MGR.: D. Hamel  
FIELD: R. Brown, M. Michael  
DESIGN: D. HAMEL  
DRAWN: D. HAMEL  
CHECKED: A. ROSCOE, W. CAMMETT  
DATE: 08-24-2015  
FILE: K:\...IC3D\14061FE.dwg  
FBK: 671  
JOB #: 14061

**SHEET DT-1**

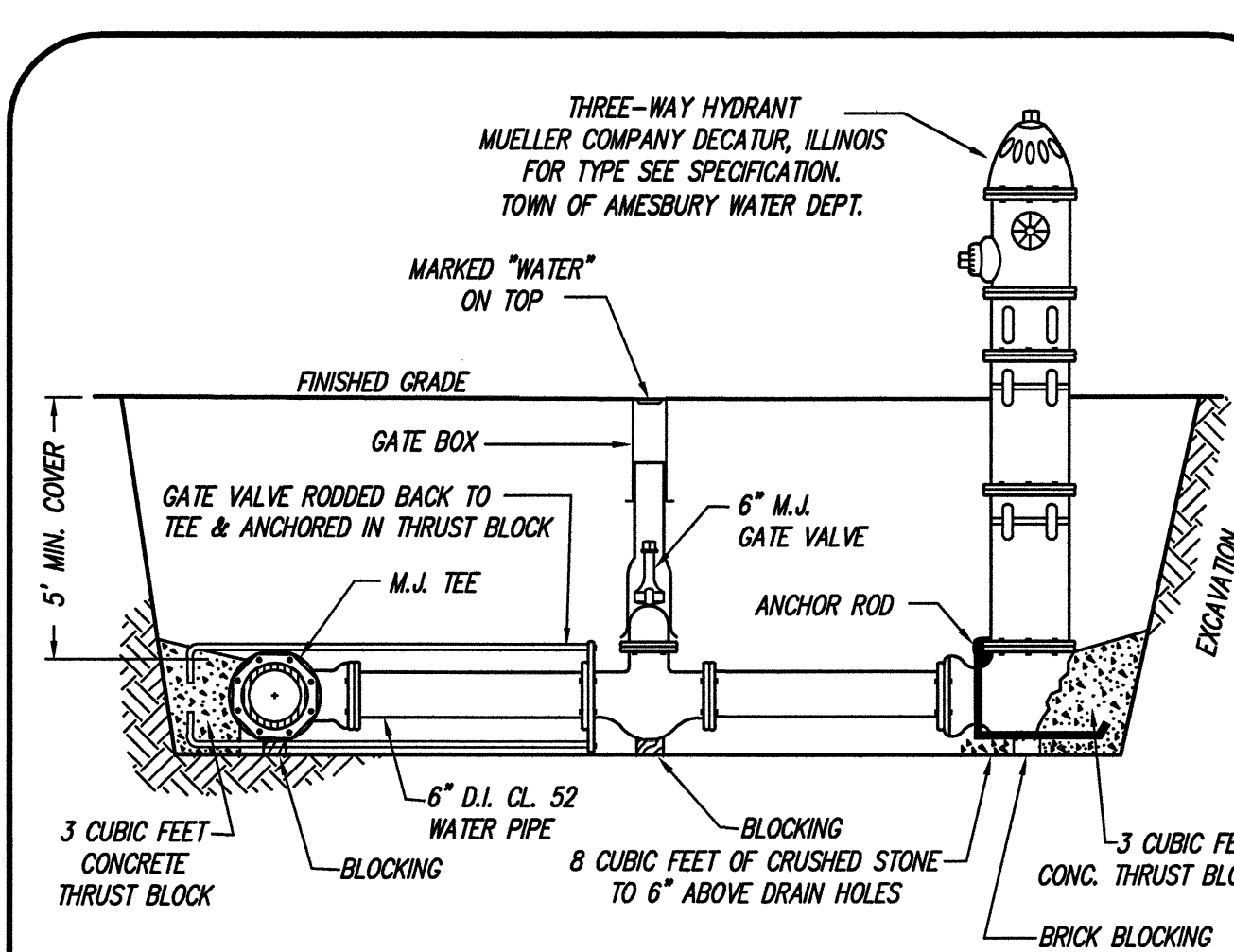




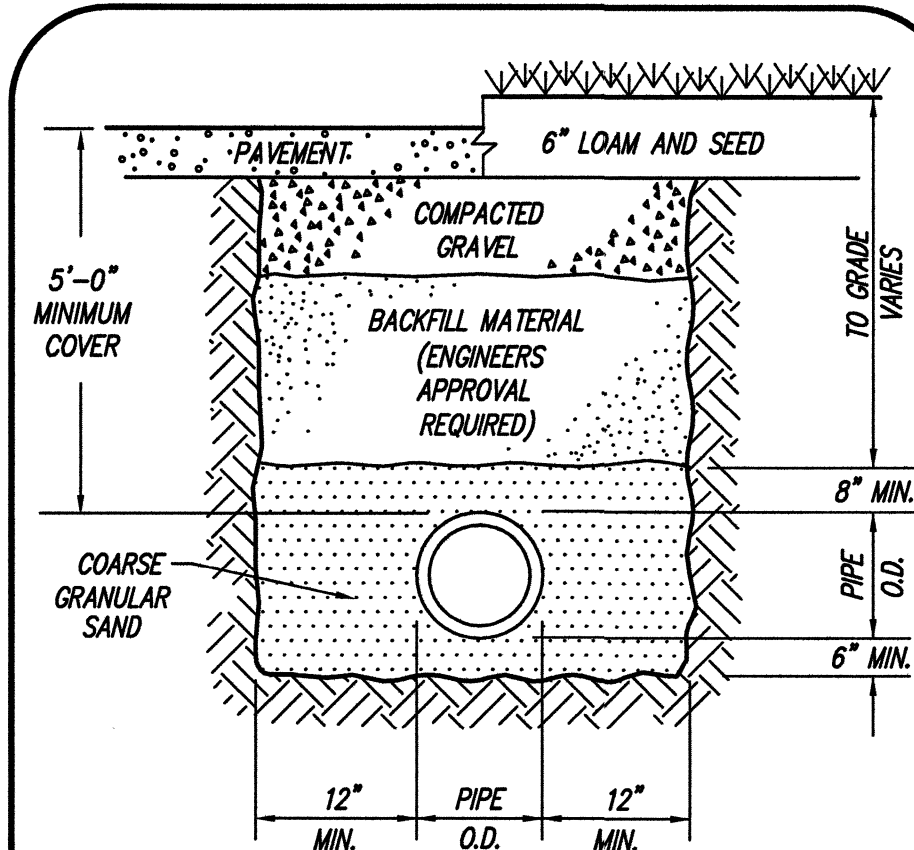
NOTE: ALL FITTINGS TO BE PLACED ON WELL CONSOLIDATED GRAVEL.

9 THRUST BLOCK PLACEMENT ON BENDS, TEES AND PLUGS  
NOT TO SCALE

- 1.) CONC. SHALL NOT INTERFERE WITH CONNECTION AT JOINT
- 2.) FITTING SHALL BE WRAPPED IN PLASTIC TO ALLOW FUTURE REMOVAL.
- 3.) MIN. 3000 PSI.

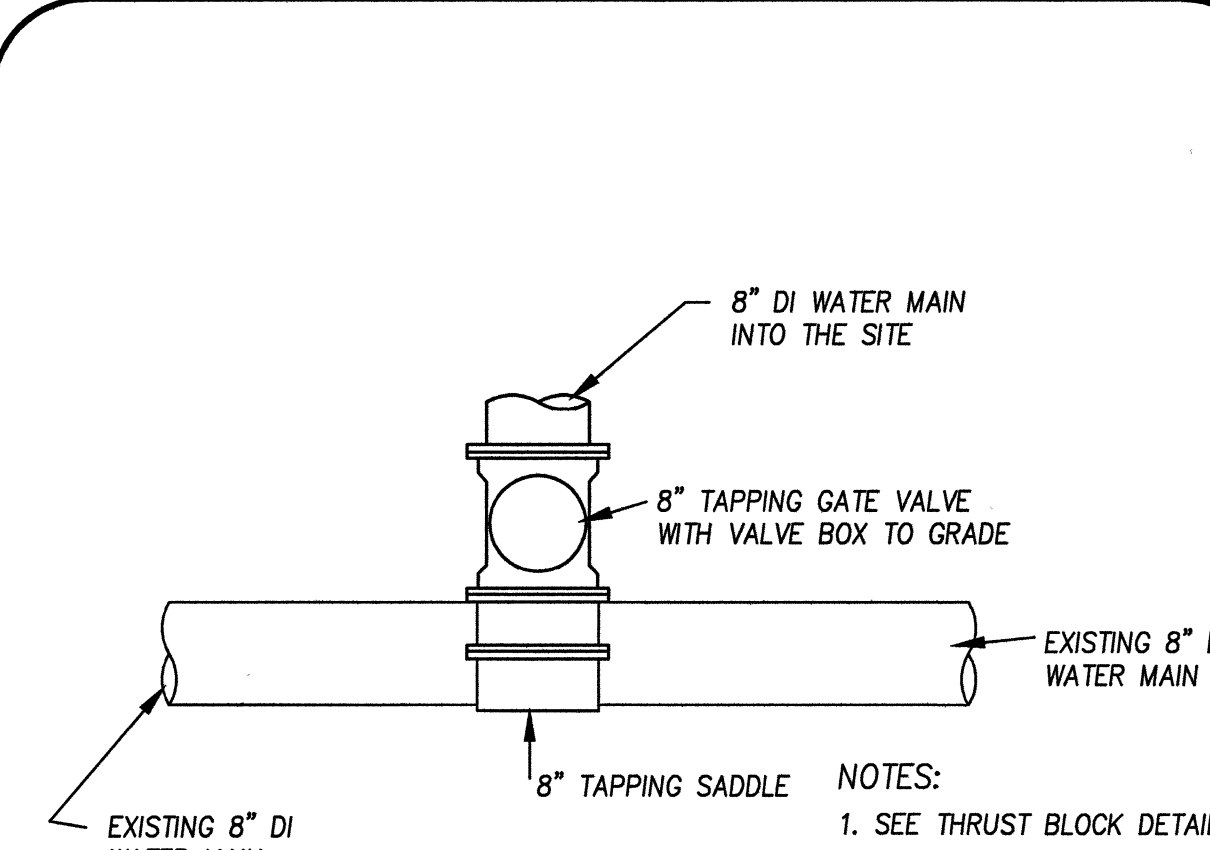


10 FIRE HYDRANT  
NOT TO SCALE



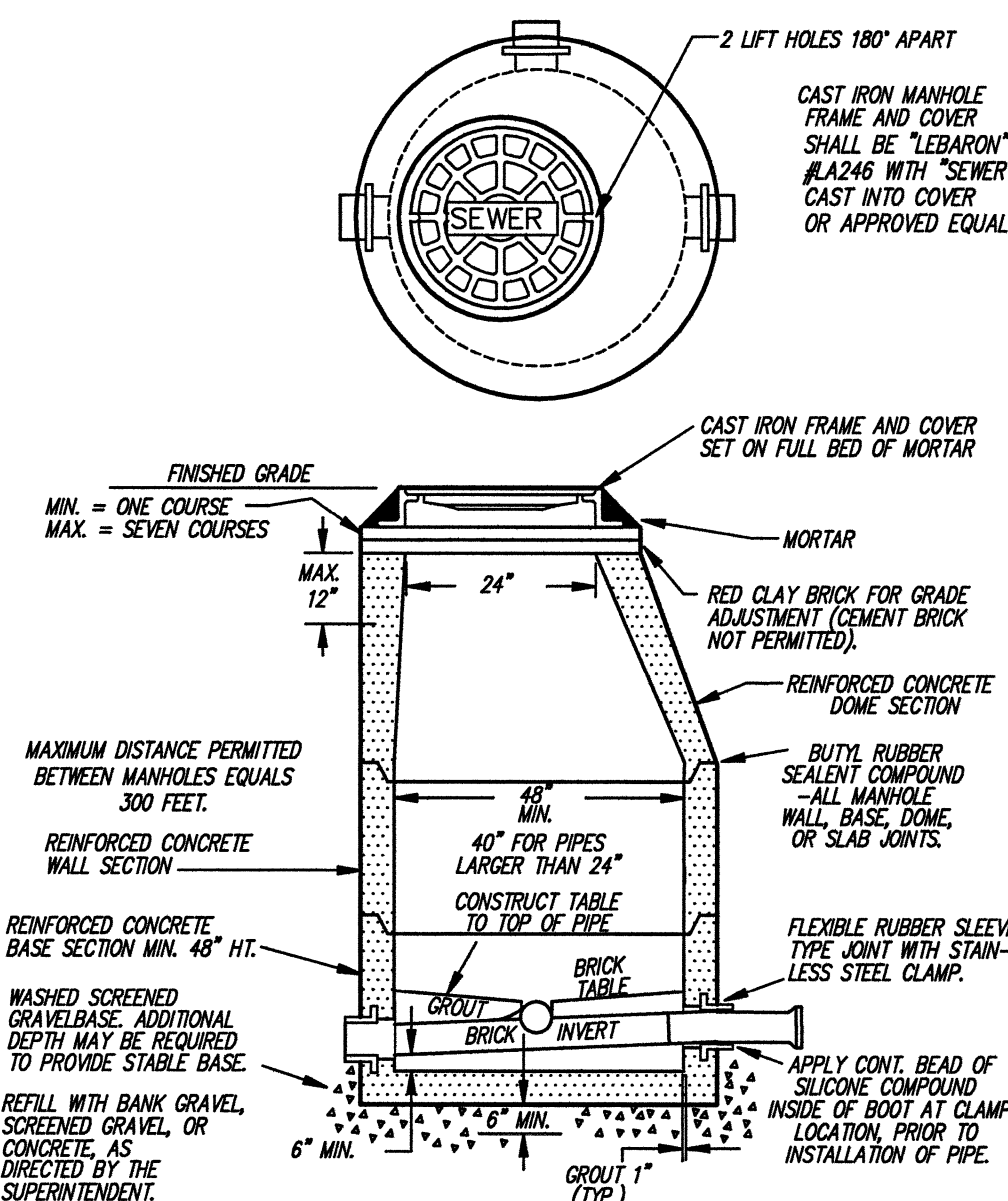
- NOTE:
1. SEE SITE PLAN FOR PIPE SIZES AND SERVICE.
  2. WATER PIPE TO BE DUCTILE IRON (D.I.) CLASS 52

11 WATER TRENCH  
NOT TO SCALE



- NOTES:
1. SEE THRUST BLOCK DETAILS
  2. JOINTS SHALL BE "MJ" TYPE.
  3. PIPING SHALL BE 8" DI CEMENT LINED, CLASS 52.

12 WATER CONNECTION  
NOT TO SCALE

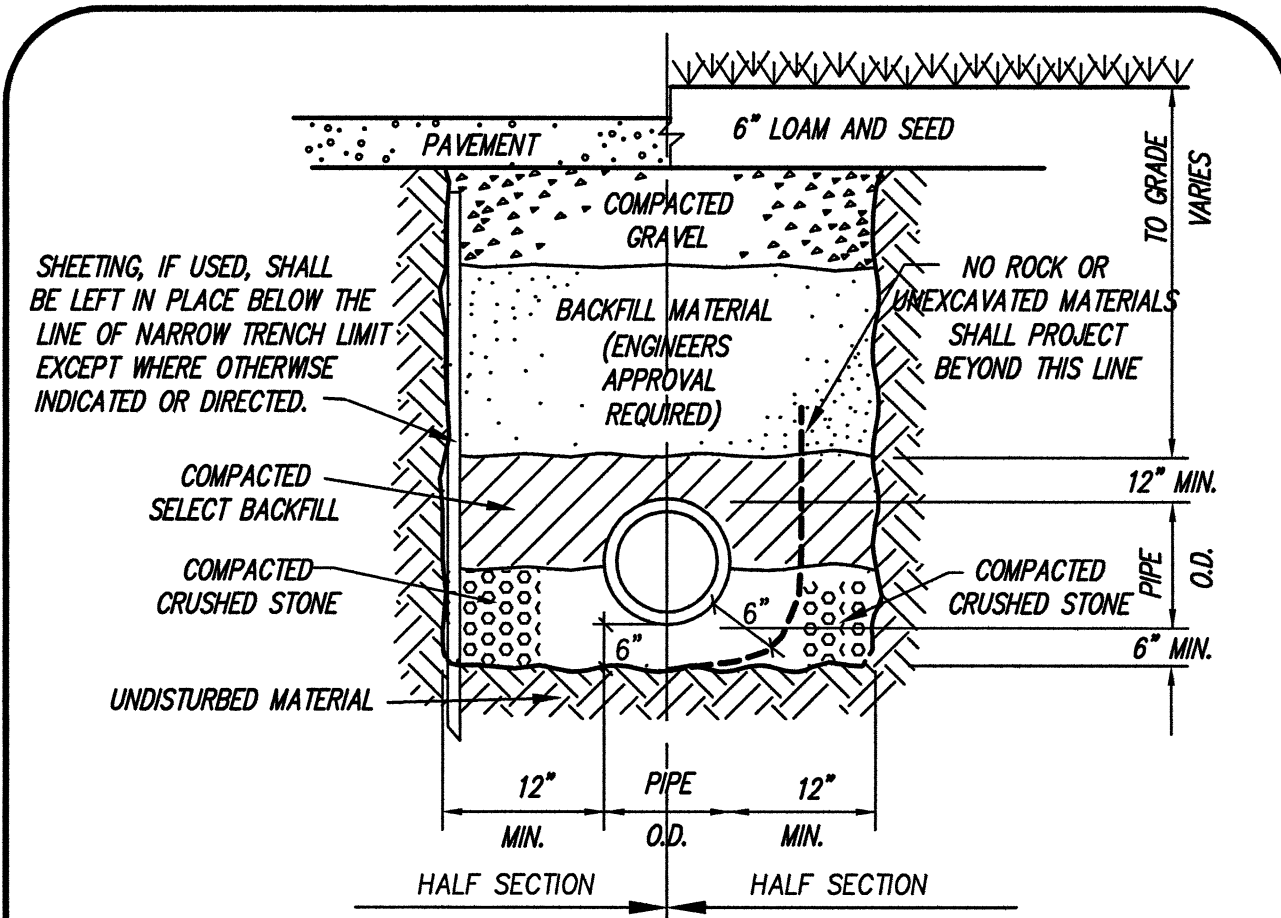


13 SEWER MANHOLE  
NOT TO SCALE

#### MANHOLE TESTING

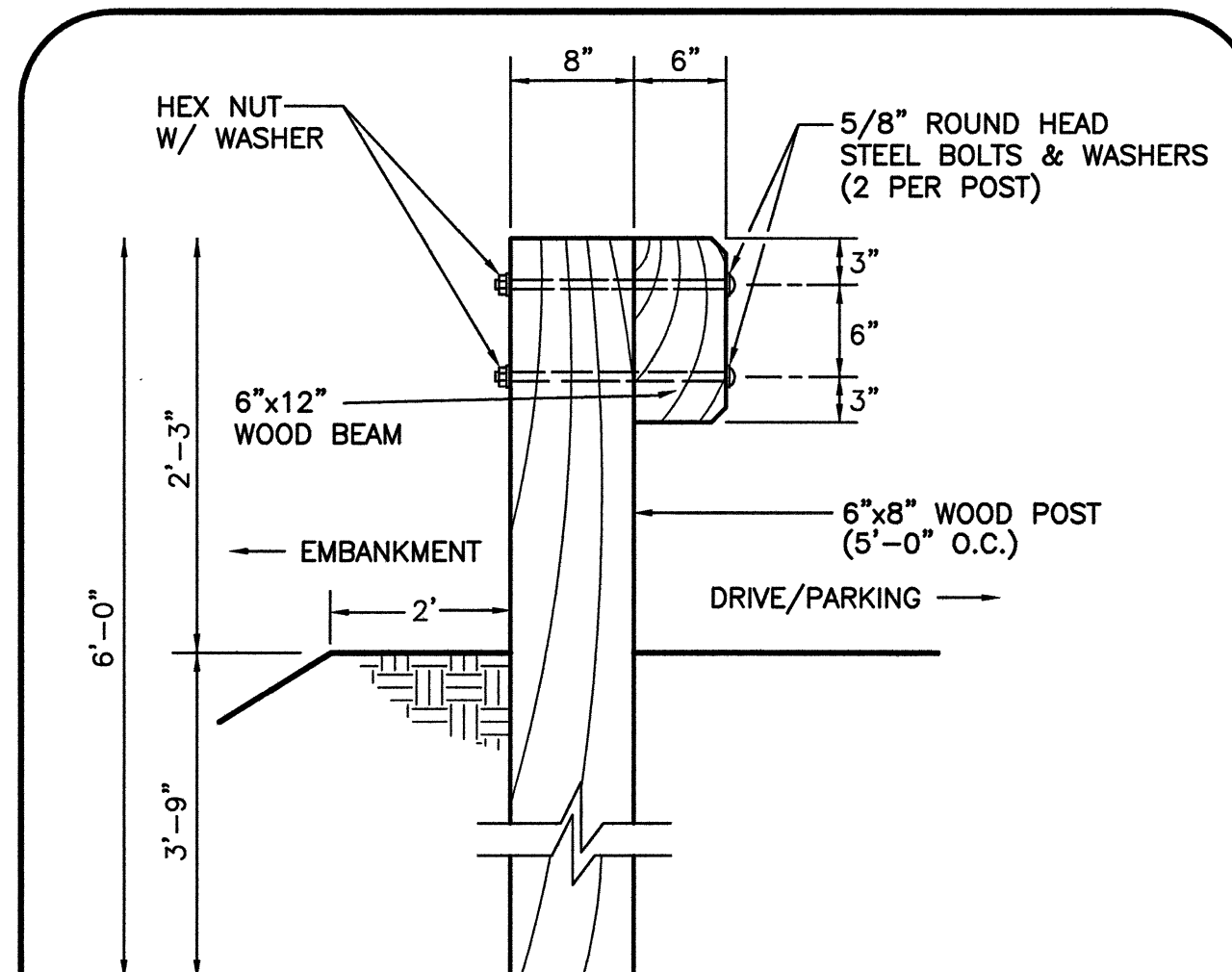
##### VACUUM TEST MANHOLE FOR LEAKAGE

THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg. THE MINIMUM TEST HOLD FOR A 1 INCH DROP TO 9 INCHES Hg SHALL BE NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP, 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP, AND 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.



14 SEWER TRENCH  
NOT TO SCALE

NOTE: SEWER PIPE TO BE 8" PVC SDR 35.



15 WOOD GUARDRAIL  
NOT TO SCALE

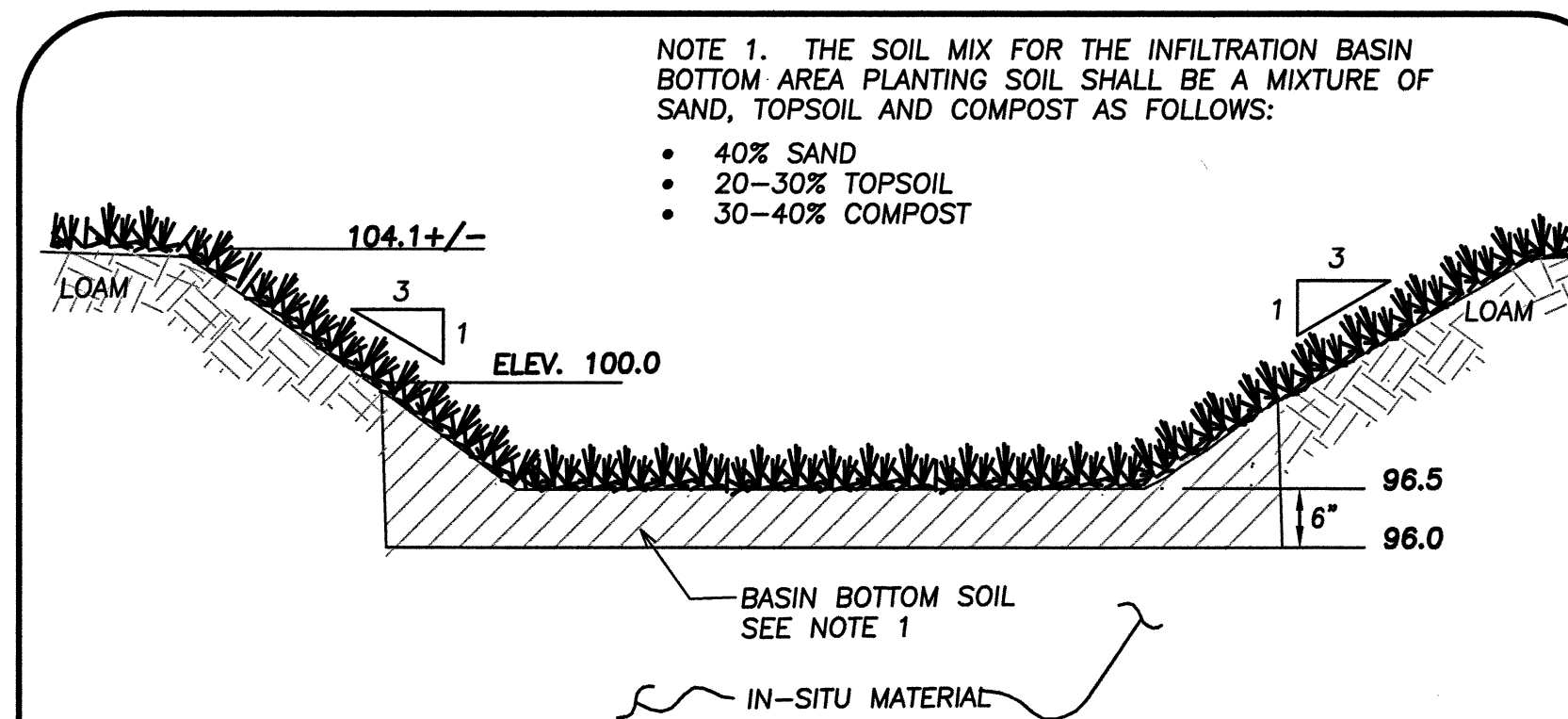
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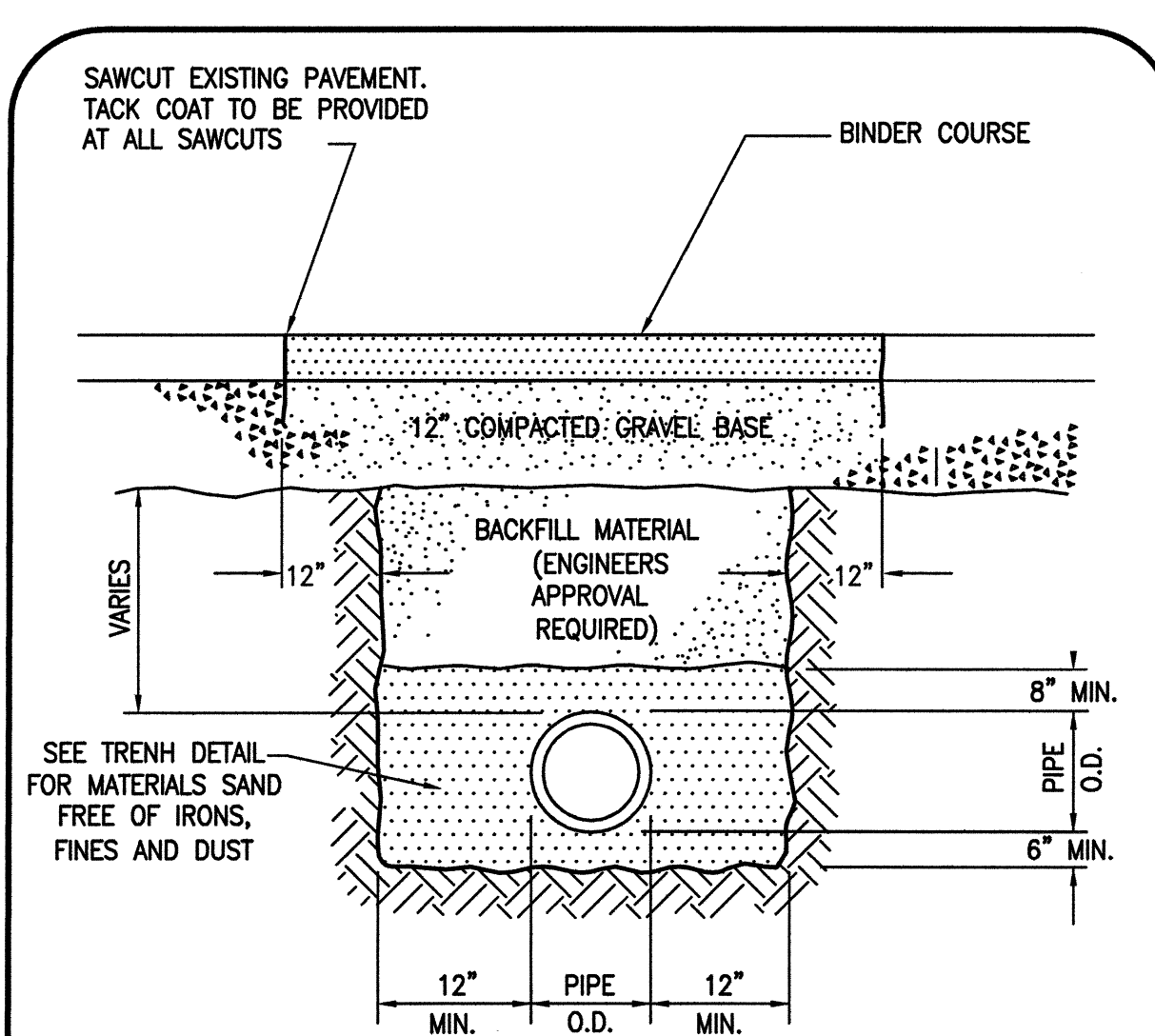
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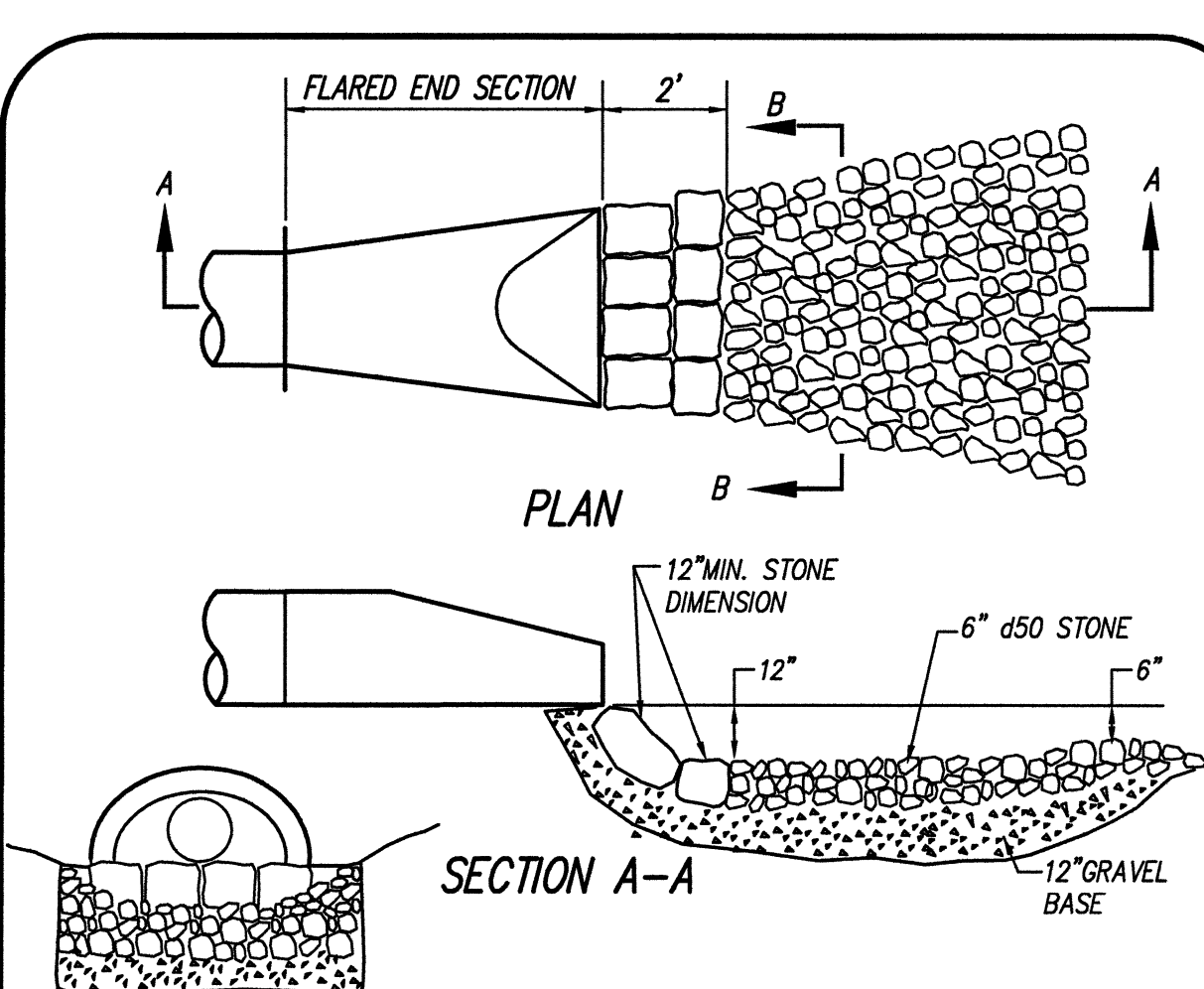
DATE



19 INFILTRATION BASIN CROSS SECTION  
NOT TO SCALE



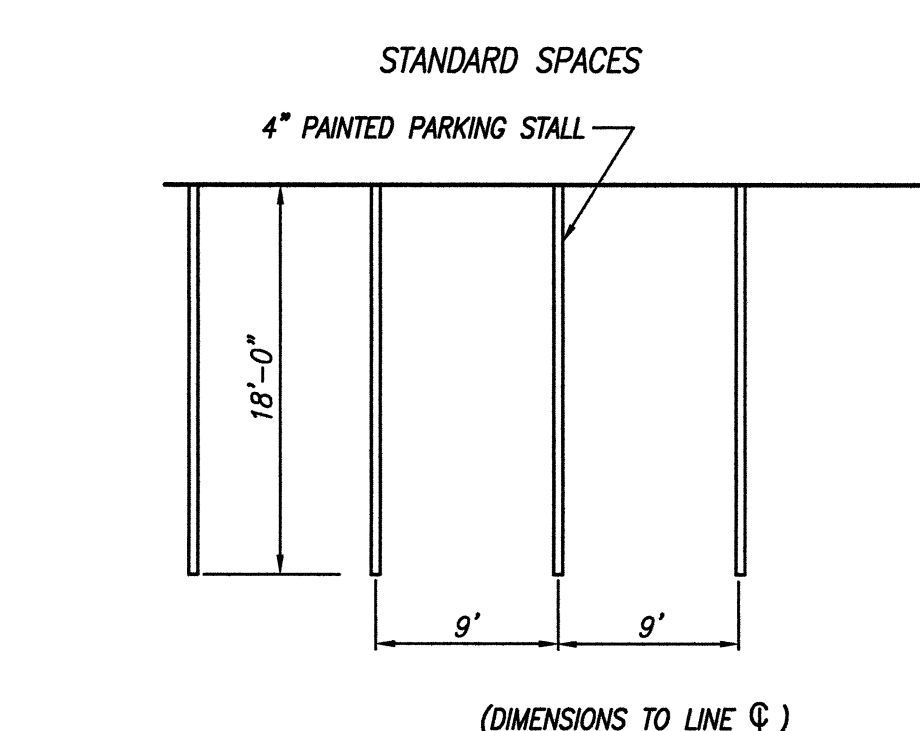
18 TRENCH REPAIR DETAIL  
NOT TO SCALE



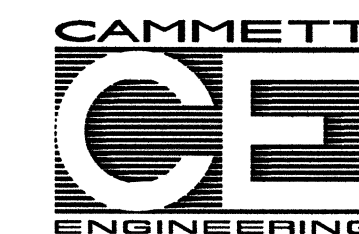
17 ENERGY DISSIPATOR/OUTLET PROTECTION  
NOT TO SCALE

#### Maintenance

The outlet protection should be checked at least annually and after every major storm. If the rip-rap has been displaced, undermined or damaged, it should be repaired immediately. The channel immediately below the outlet should be checked to see that erosion is not occurring. The downstream channel should be kept clear of obstructions such as fallen trees, debris, and sediment that could change flow patterns and/or tailwater depths on the pipes. Repairs must be carried out immediately to avoid additional damage to the outlet protection apron.



16 PARKING STALL LAYOUT  
NOT TO SCALE



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Sheet Title:

## Misc. Details

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Amesbury, Ma.

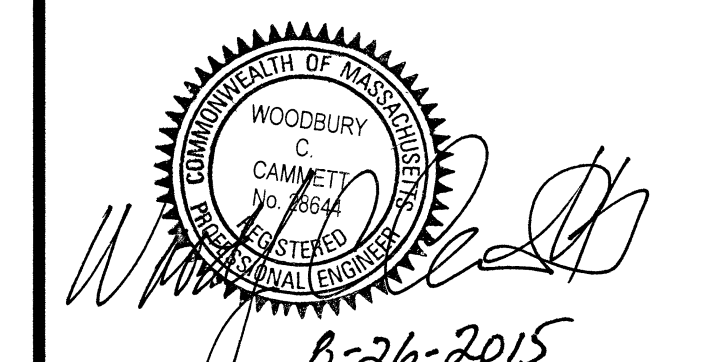
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SHEET DT-2